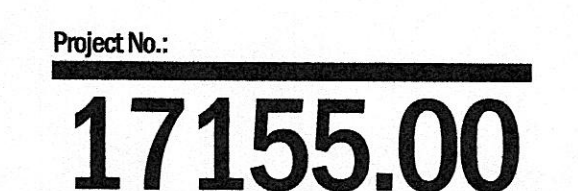
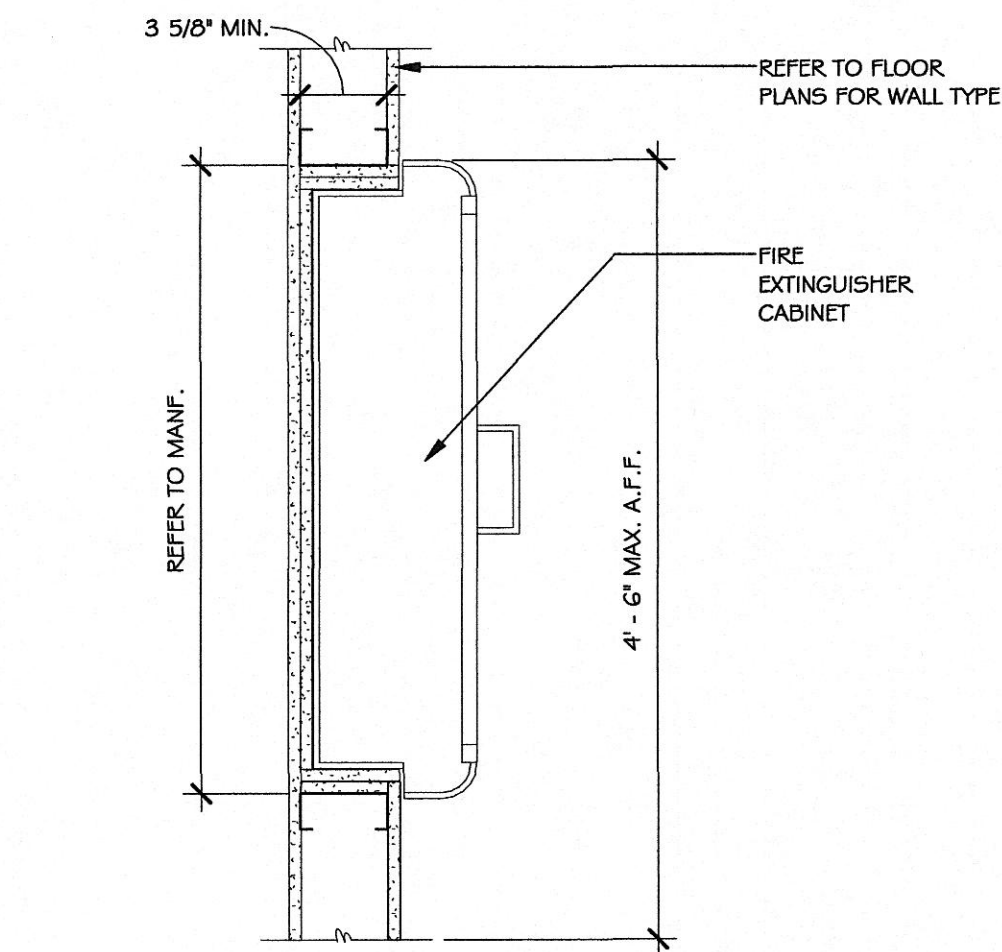


**300 N. Roane Street
Harriman, TN 37748**

3D Sketch to be updated to reflect extended customer service counter, eliminating side windows and adding new reception area

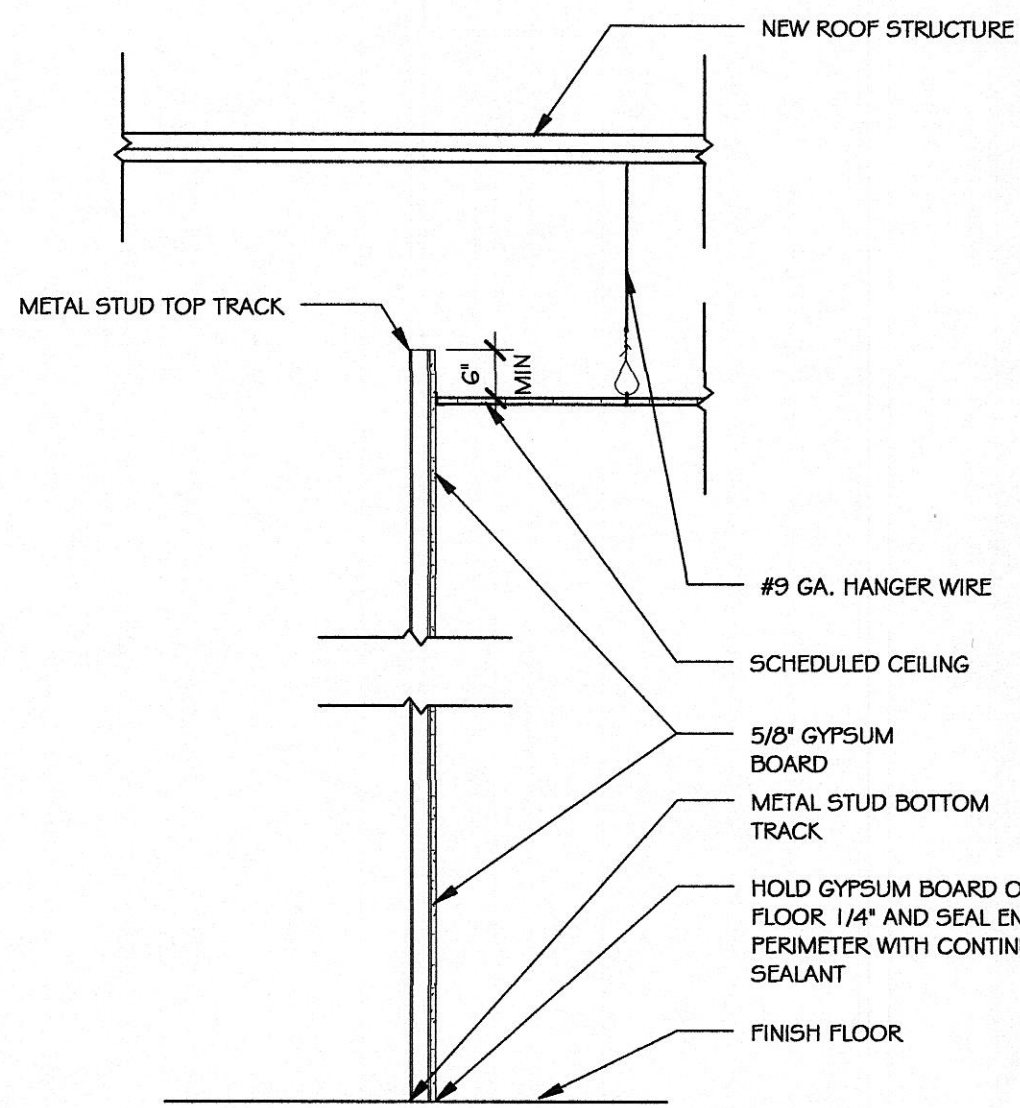




6 FEC Details
1/2" = 1'-0"

- DO NOT SCALE DRAWINGS. IF DIMENSION ARE IN QUESTION, CONTRACTOR SHALL OBTAIN CLARIFICATION, IN WRITING, FROM THE ARCHITECT.
- INTERIOR AND EXTERIOR WALL AND PARTITION DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE. MASONRY DIMENSIONS ARE FROM OUTSIDE EDGE TO OUTSIDE EDGE UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL CODES, REGULATIONS AND ORDINANCES AND SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR CONSTRUCTION.
- FIRE EXTINGUISHER(S) ARE REQUIRED IN THE SPACE PER NFPA 10. MOUNT CABINETS AND EXTINGUISHERS AT LOCATIONS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE FIREBUILDING INSPECTOR.
- FOR TYPICAL MOUNTING HEIGHTS OF FUTURE TOILET FIXTURES AND ACCESSORIES, AND OTHER BUILDING ELEMENTS REFER TO SHEET 60.2.
- CONSTRUCTION MATERIALS SPECIFIED AND NOTED ON THE DRAWINGS ARE REPRESENTATIVE OF THE GENERAL DESIGN INTENT.
- GENERAL CONTRACTOR TO VERIFY CONDITIONS PRIOR TO BIDDING. IF CONDITIONS ARE DIFFERENT THAN SHOWN IN DRAWINGS, CONTACT ARCHITECT IMMEDIATELY.
- WHERE A DETAIL IS SHOWN OR A NOTE IS DESCRIBED FOR ONE CONDITION, IT SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS EVEN THOUGH NOT SPECIFICALLY NOTED ON THE DRAWINGS.
- CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT SURROUNDINGS PROPERTY, STREETS, WALKS, ETC. DURING CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED AS A RESULT OF CONTRACTORS NEGLIGENCE.
- PROVIDE DOOR HARDWARE AS REQUIRED BY CODE. KEY AS DIRECTED BY OWNER.
- COORDINATE ACCESS TO THE SITE WITH THE OWNER. CONTRACTOR SHALL OBTAIN, IN WRITING, CONDITIONS FOR ACCESS, PARKING, WORK HOURS AND ANY OTHER ITEM REQUIRING SCHEDULING COORDINATION.
- CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION MATERIALS, FINISHES, EQUIPMENT, ETC. AS SHOWN ON THE DRAWING TO CONFORM WITH ASTM, UL OR OTHER INDUSTRY STANDARDS TYPICAL FOR SUCH ITEMS. MANUFACTURER'S DATA, SAMPLES, SHOP DRAWINGS AND/OR OTHER SUBMITTALS SHALL BE SUBMITTED FOR STANDARDS AND SPECIFICATIONS FOR SUCH ITEMS. THE ARCHITECT SHALL HAVE THE AUTHORITY TO REJECT ANY ITEM NOT IN COMPLIANCE WITH THE DESIGN INTENT OR THE GENERAL INDUSTRY STANDARD SPECIFICATIONS AS JUDGED BY THE PROFESSIONAL OPINION OF THE ARCHITECT.
- REFER TO PARTITION LEGEND FOR TYPICAL WALL TYPES AND FIRE RATINGS. ALL WALL TYPES SHALL CONFORM TO THE PARTITION LEGEND UNLESS OTHERWISE NOTED.
- PROVIDE CONTINUOUS SEPARATION BETWEEN DISSIMILAR MATERIALS AS REQUIRED TO PREVENT GALVANIC CORROSION.
- NO CHANGE ORDERS WILL BE ISSUED FOR CHANGES REQUIRED IN THE WORK DUE TO AN INCOMPLETE FIELD VISIT BY THE CONTRACTOR PRIOR TO BIDDING.
- NO CHANGE ORDERS WILL BE ISSUED FOR CHANGES REQUIRED IN THE WORK AFTER CONSTRUCTION HAS COMMENCED UNLESS SPECIFICALLY AUTHORIZED BY AN OWNER AND/OR OWNERS REPRESENTATIVE.
- THESE DRAWINGS ARE AN INSTRUMENT OF CONDITIONAL SERVICES. THE ARCHITECT TAKES NO RESPONSIBILITY FOR ACTUAL FIELD CONDITIONS AND CONSTRUCTION. THESE DRAWINGS ARE TO CONVEY DESIGN INTENTIONS AND CODE COMPLIANCE ONLY. ACTUAL LOCATIONS AND DIMENSIONS TO BE FIELD VERIFIED.

5 General Notes
NTS



A1 2 - 1/2" Metal Stud

SCHEDULED FINISH ON ONE SIDE OF 2 - 1/2" 20 GA METAL STUDS AT 16" O.C. ATTACH RUNNERS WITH ANCHORS AT 2'-0" O.C. GWB TO EXTEND MIN 6" BEYOND FINISHED CEILING.

A2 3 - 5/8" Metal Stud

SCHEDULED FINISH ON ONE SIDE OF 3 - 5/8" 20 GA METAL STUDS AT 16" O.C. ATTACH RUNNERS WITH ANCHORS AT 2'-0" O.C. GWB TO EXTEND MIN 6" BEYOND FINISHED CEILING.

4 Typical Wall Types
1/2" = 1'-0"

A	H	R
A/C Air Conditioning	HB Hose Bibb	R Roar, Radius
ACOUST Acoustical	HC Hollow Core	RA Return Air
ACT Acoustical Ceiling Tile	HDR Header	RAD Radius
ADJ Adjustable	HDW Hardware	RAG Return Air Grill
AF Above Finished Floor	HM Hollow Metal	RAR Return Air Register
ALT Alternate	HORIZ Horizontal	RB Rubber Base
ALUM Aluminum	HP High-Point	RCP Reflected Ceiling Plan
ARCH Architectural	HR Hour	RD Roof Drain
ASPH Asphalt	HT Height	REF Refrigerator
ATT Attach(ed)		REF Reference
		REINF Reinforced, Reinforcement
B	I	RET Retaining
BOIT Bottom	ID Inside Diameter	RM Room
B.O.W. Bottom of Wall	IN Inch(es)	RO Rough Opening
	INSUL Insulate(d), Insulation, Insulating	ROW Right of Way
C	INT Interior	RS Rough Sawn
	INV Invert(ed), Inverse	RTN Return
	IPS Iron Pipe Size	RVL Reveal
		S
CAB Cabinet	JST Joist	S & R Shelf & Rod
CB Catch Basin	JNT Joint	SAFB Sound Attenuation Fire Blanket
CEM Cement	JT Joint	SAG Supply Air Grill
CFCI Contractor Furnished/Installed		SAN Sanitary
CT Ceramic Tile		SCN Schedule
CLG Ceiling	KIT Kitchen	SCWD Solid Core Wood Door
CLR Clearance		SEC Secure, Security
CMU Concrete Masonry Unit	L Length	SECT Section
COL Column	LAM Laminated(d), Lamination	SHT Sheet
COM Customer Owned Material	LL Live Load	SIM Similar
CONC Concrete	LLH Long Leg Horizontal	SPEC Specification(s)
CONST Construction	LLV Long Leg Vertical	SQ Square
CONT Continuous	LP Low Point	SQ FT Square Foot, Square Feet
COORD Coordinates, Coordination	LVR Lower	SQ IN Square Inch(es)
CORR Corrugated, Corridor		SQ YD Square Yard(s)
CRS Course(s)		SS Service Sink
CTSK Countersunk		SST Stainless Steel
CJ Cubic		STD Standard
CU FT Cubic Foot /feet		STL Steel
CU YD Cubic Yard(s)		STOR Storage
D	M	STRUCT Structure, Structural
DTL Detail	MAS Masonry	SUSP Suspended
DF Drinking Fountain	MATL Material	SWD Solid Wood Door
DIA Diameter	MAX Maximum	
DIM Dimension	MECH Mechanical	T
DN Down	MFR Manufacturer	T&G Tongue & Groove
DR Drain	MH Manhole	T Tread
DS Downspout	MIN Minimum	T.O.C. Top of Curb
DW Dishwasher	MISC Miscellaneous	T.O.W. Top of Wall
DWG Drawing	MO Masonry Opening	TEMP Tempered
	MTL Metal	TFTI Tenant Furnished, Tenant Installed
	MULL Mullion	THK Thickness
E	N	THOLD Threshold
E/FS Exterior Insulation Finish System	NEO Neoprene	THR Threshold
EF Each Face	NIC Not In Contract	TMP Temporary
EJ Expansion Joint	NO Number	TRTD Treated
EL Elevation	NOM Nominal	TYP Typical
ELEV Elevation/Elevator	NTS Not to Scale	
ELEC Electrical		O
EQ Equal		OC On Center
EQUIP Equipment		OD Outside Diameter
EW Each Way		OFCI Owner Furnished, Contractor Installed
EWC Electric Water Cooler		OFOI Owner Furnished, Owner Installed
EXH Exhaust		OH Overhead
EXIST Existing		OPNG Opening
EXP Expansion		OPP Opposite
EXT Exterior		P
F	P	PL Property Line
FD Floor Drain	PLAM Plastic Laminate	PLY Plywood
FE Fire Extinguisher	PNT Point	PNT Point
FEC Fire Extinguisher Cabinet	PRETAB Prefabricate, (ton)	P.T. Pressure Treated
FF Finished Floor	PT Point	PTD Painted
FH Flat Head	PVC Polyvinyl Chloride	
FHC Fine Hose Cabinet		Q
FIN Finish(ed)		QTR Quarter
FL Floor		QS Quarter Sawn
FLR Floor		
FT Foot, Feet		Y
FTG Footing		YD Yard
FRMS Framing		
FRT Fire Retardant Treated		Z
FSTN Fasten		
FSTNR Fastener		
F.V. Field Verify		
G		
GA Gauge		
GALV Galvanized, Galvanization		
GL Glass		
GYP Gypsum		
GYP BD Gypsum Board		

3 Abbreviations
NTS

C	0	CENTER LINE
0		COLUMN GRID
Name Elevation		ELEVATION MARKER
POINT		POINT ELEVATION
101		DOOR IDENTIFICATION
1		WINDOW IDENTIFICATION
2-11 1/2"		CEILING IDENTIFICATION
1A		WALL TYPE
TLT-01		ACCESSORY TAG
Room name 101A		ROOM IDENTIFICATION
1		REVISION NOTE
1		DEMO NOTE
1 A101		EXTERIOR ELEVATION
1/AB.1		INTERIOR ELEVATION
1 A101		NORTH ARROW
1 A101		BUILDING SECTION
1 A101		WALL SECTION

2 Graphic Symbols
NTS

	EARTH
	GRAVEL
	CONCRETE
	RIGID INSULATION
	METAL
	PLYWOOD
	WOOD - FINISHED
	WOOD - ROUGH
	BATT INSULATION
	GYP SUM BOARD
	ACOUSTIC TILE
	MASONRY VENEER
	CONCRETE MASONRY UNIT

1 Materials Legend
NTS



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Project Name:
Hartman Utility Board
300 N. Roane Street
Hartman, TN 37748

Project Number: 17155.00
Date: 07.13.18
Drawn By: T.Johnston
Checked By: K.Moran

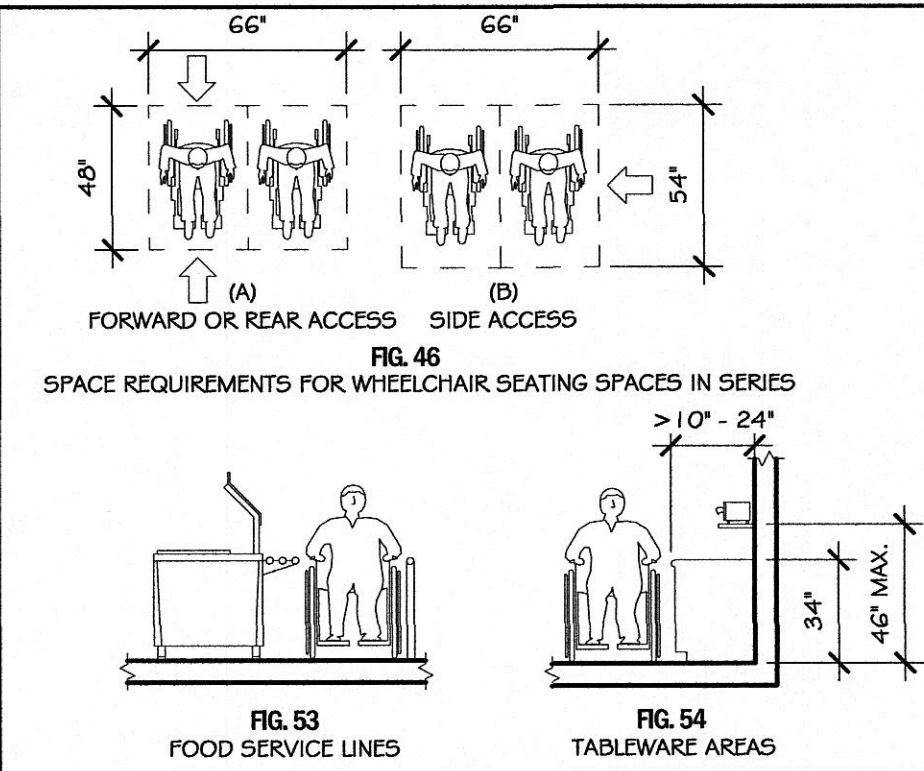
Drawing Issued For:
☐ Schematic Design
☐ Design Development
☒ Construction

Revisions:
No. Date Description

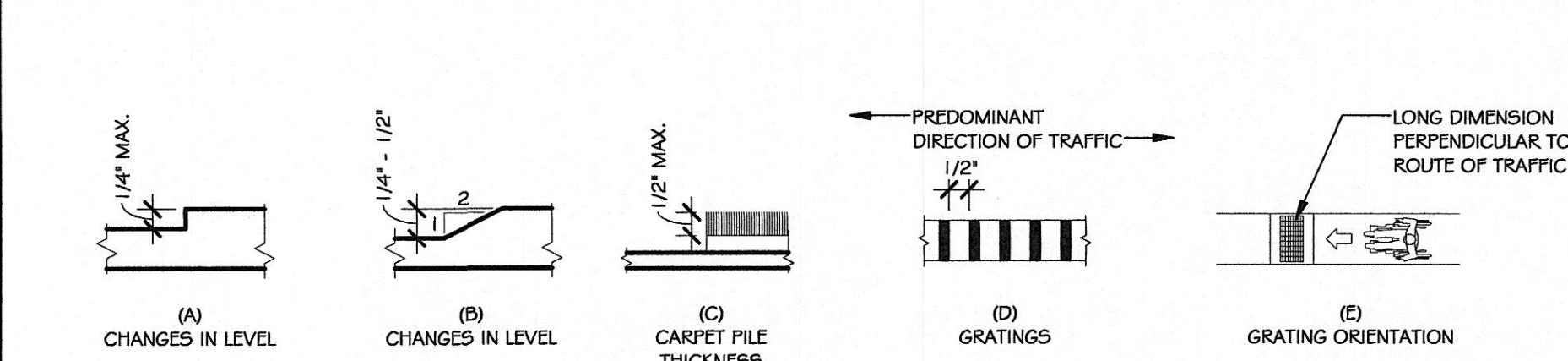
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Gen. Notes, Abbreviations, Symbols, Wall
Types, Legends, & FEC

Sheet No:
GO.1

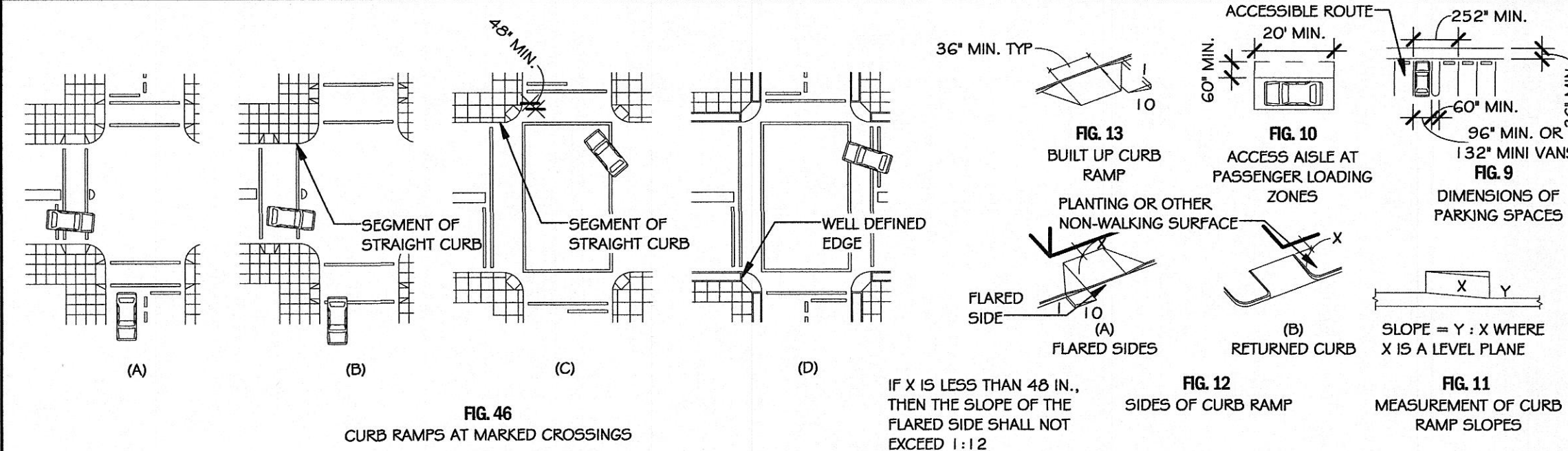
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User: T.Johnston
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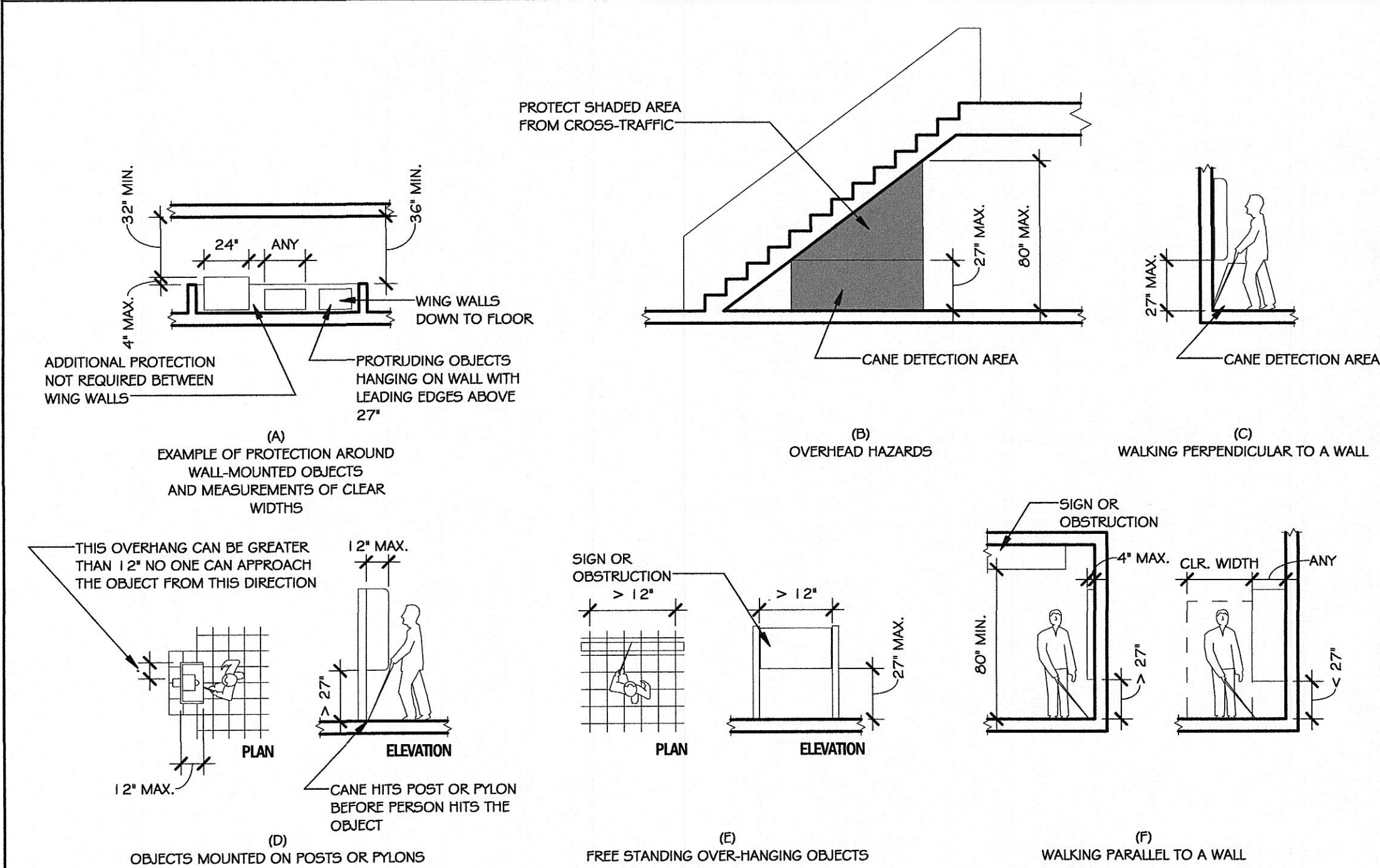
10 Seating & Aisle Clearances
3/16"=1'-0"



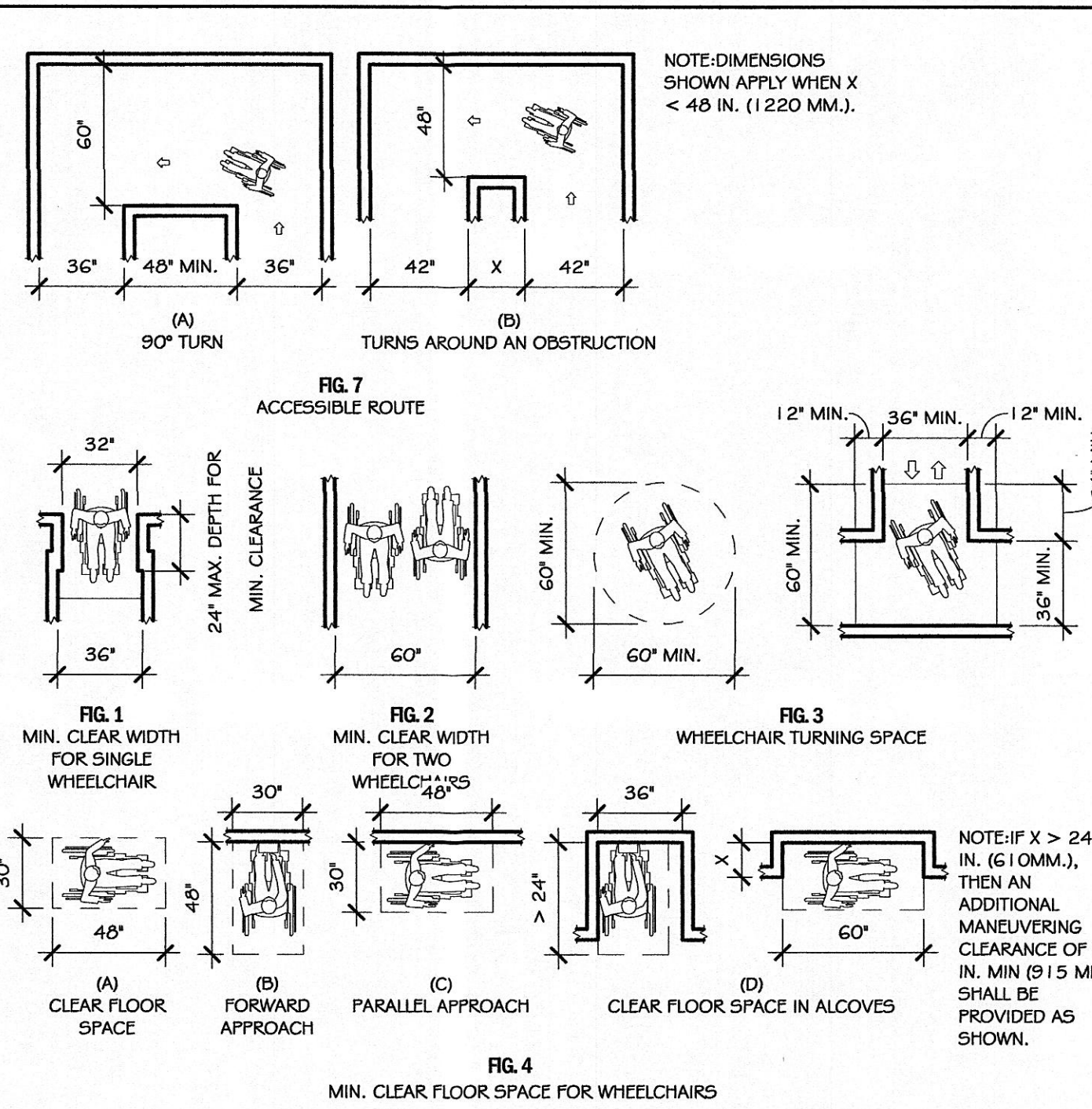
9 Floor Surfaces
3/16"=1'-0"



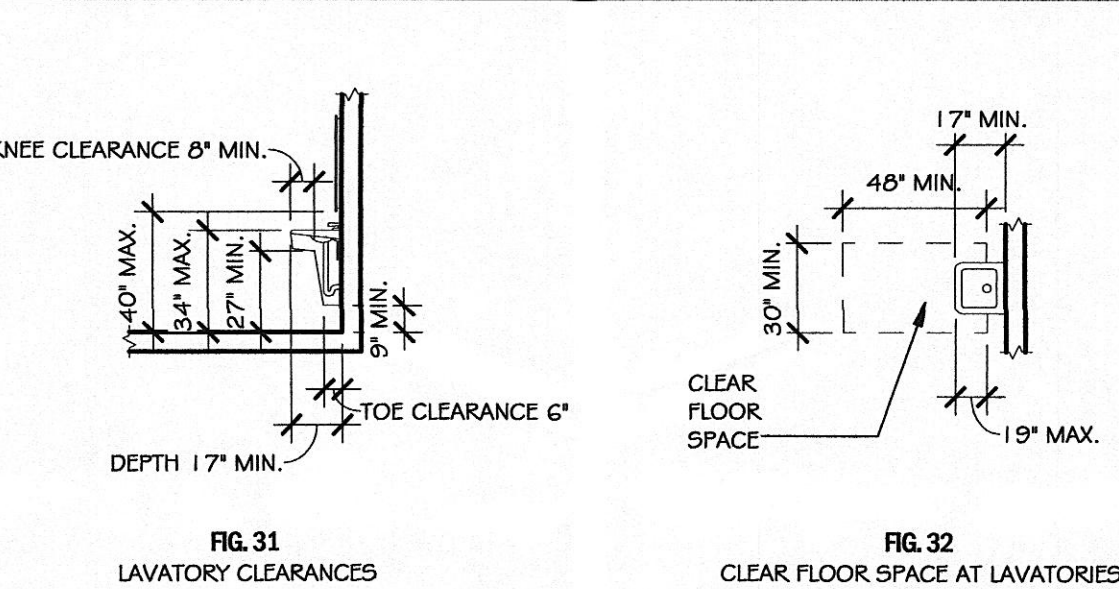
8 Parking Spaces, Access, Curbs, and Marked Crossings
NTS



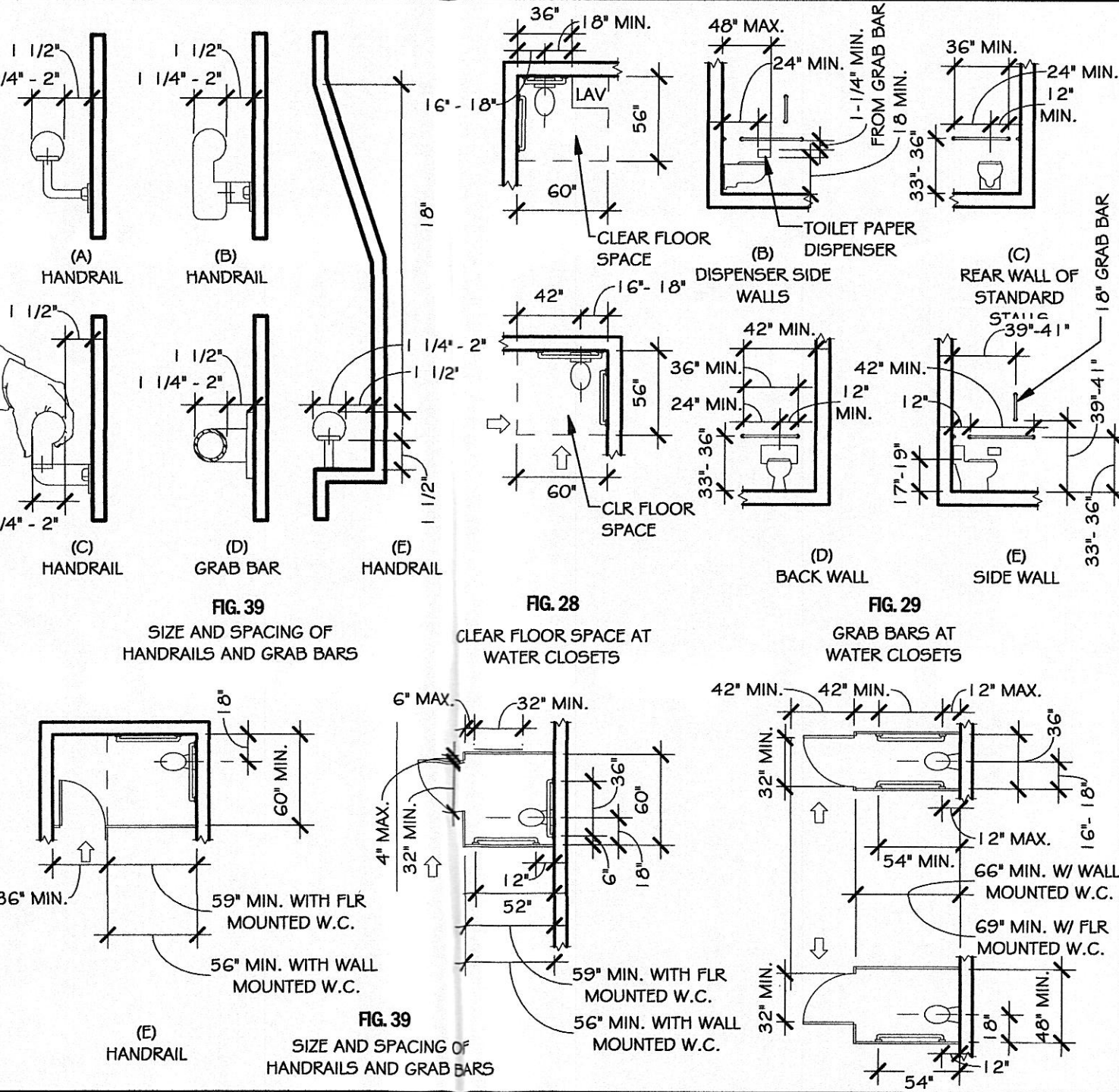
7 Handicap: Protruding Objects
3/16"=1'-0"



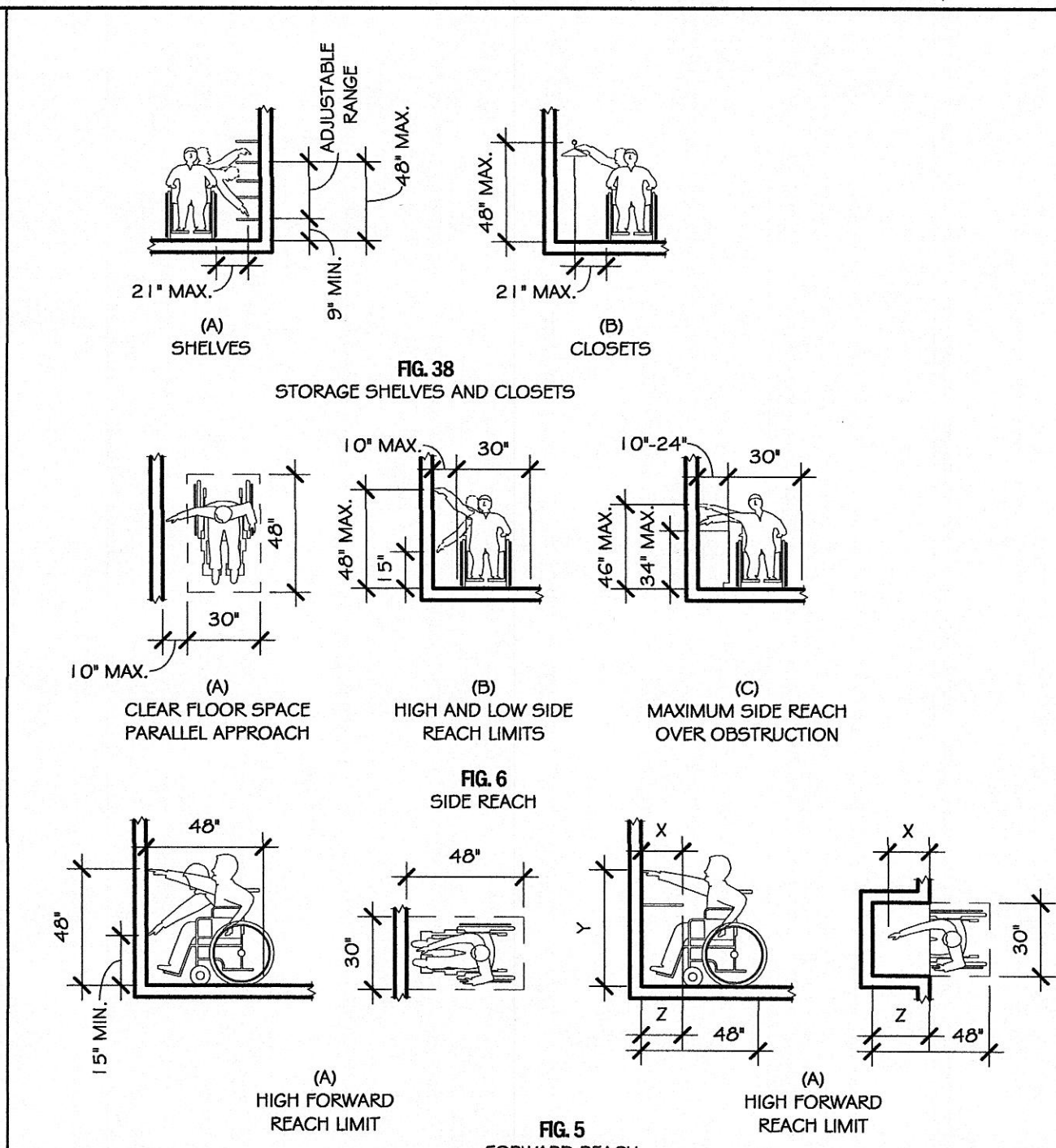
6 Wheelchairs: Clearances, Clear Floor Space, & Acc. Routes
3/16"=1'-0"



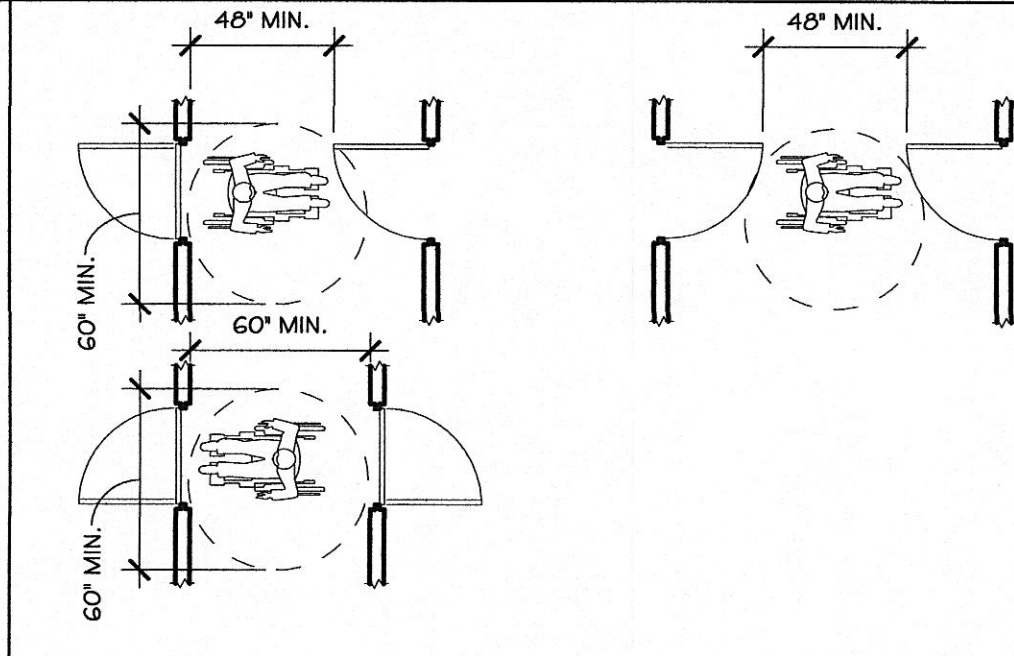
5 Clearances at Lavatories
3/16"=1'-0"



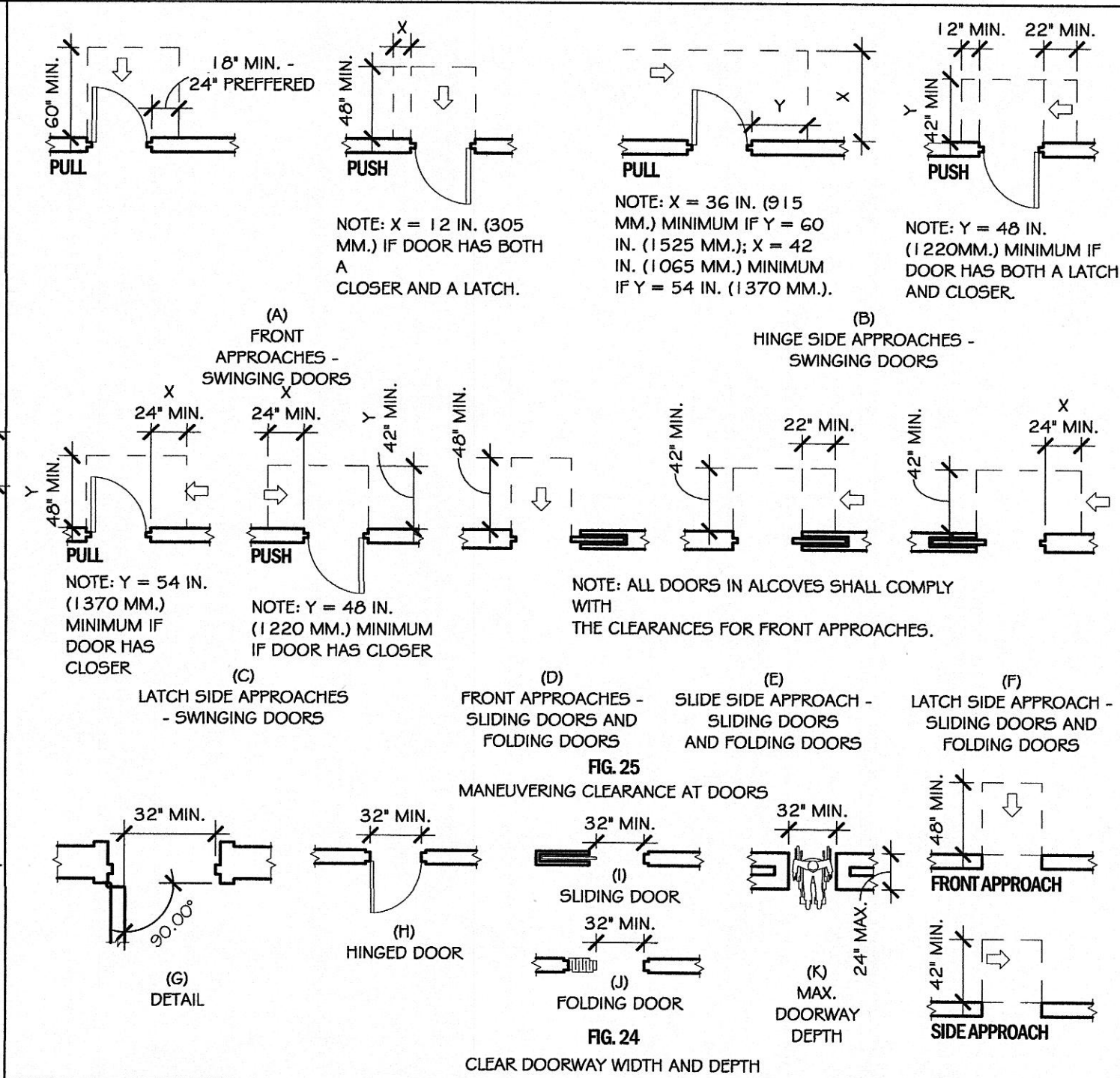
4 Toilets: Clear Floor Spaces, Grab Bars & Toilet Stalls
NTS



3 Wheelchair Forward & Side Reach
3/16"=1'-0"



2 Two Doors in a Series
3/16"=1'-0"



1 Doorway Clearances
1/8"=1'-0"

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01-51-17

CD

Construction Documents

NOT FOR
CONSTRUCTION

Project Name:
Hartman Utility Board
300 N. Roane Street
Hartman, TN 37748

Project Number: 17155.00
Date: 07.13.18
Drawn By: T.Johnston
Checked By: K.Moran

Drawing Issued For:
☐ Schematic Design
☐ Design Development
☒ Construction

Revisions:
No. Date Description

Sheet Title:
Accessibility Details

Sheet No:

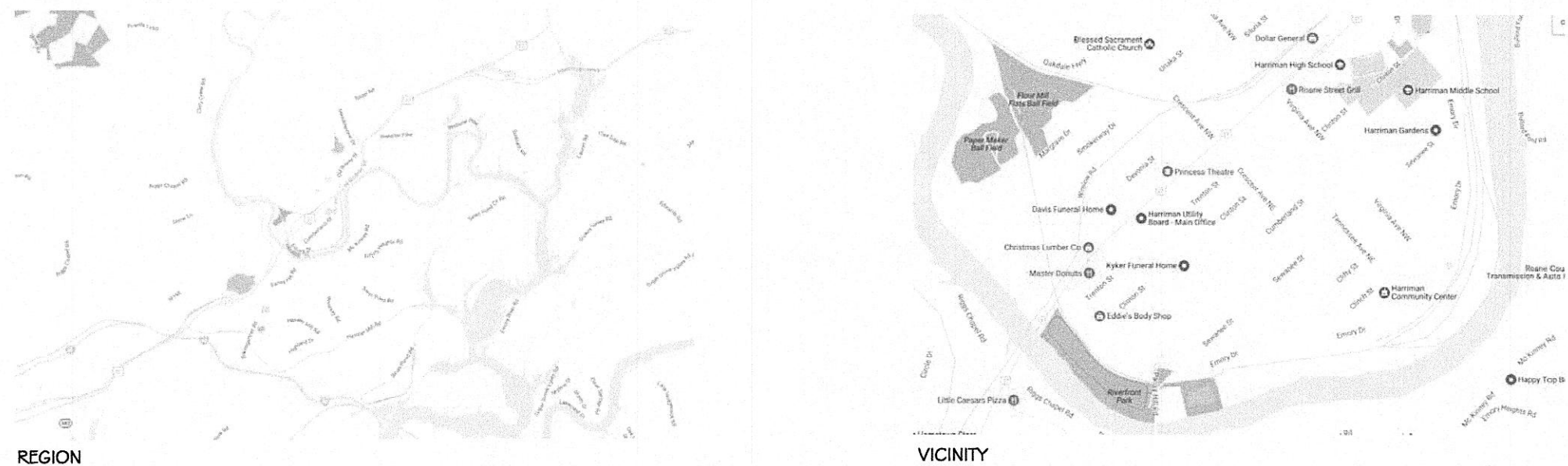
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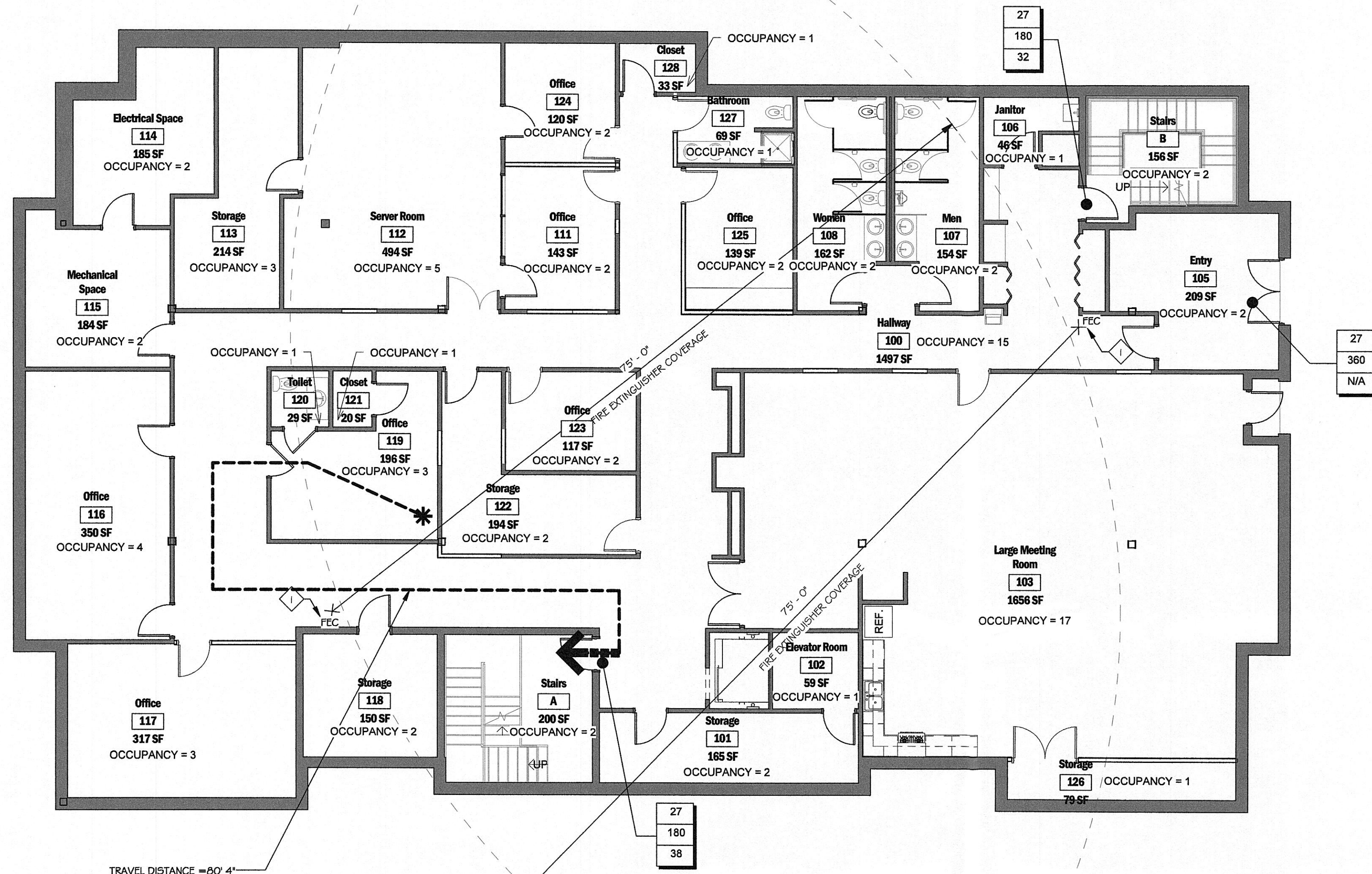
5 Ground Floor - Life Safety Plan

1/8" = 1'-0"



4 Location Maps

1" = 1'-0"



PROJECT LOCATION

200 N. ROANE STREET
HARRIMAN, TN 37748

SCOPE OF WORK

INTERIOR RENOVATIONS, THE SPACE WILL CONSIST OF OFFICES, MEETING SPACES, AND A LOBBY FOR THE PUBLIC. NEW CONSTRUCTION WILL INCLUDE DEMO OF CURTAIN WALLS, THE REUSE OF DOORS, AND NEW FINISHES WHERE NECESSARY.

3 Project Description

Overview

APPLICABLE CODES: International Building Code, 2012 edition w/ amendments
International Energy Code, 2012 edition w/ amendments
International Electrical Code, 2011 edition edition w/ amend.
International Plumbing Code, 2012 edition w/ amendments
International Mechanical Code, 2012 edition w/ amendments
International Fuel Gas Code, 2012 edition w/ amendments
International Fire Code, 2012 edition w/ amendments

ACCESSIBILITY CODE: ANSI A117.1, 2009 edition

OCCUPANCY TYPE: B

CONSTRUCTION TYPE: VB

Requirements

TRAVEL DISTANCE: 200'-0" maximum without Sprinkler System
250'-0" maximum with Sprinkler System
Common Path of Travel - 75'-0"
Dead End - 20'-0"

EGRESS WIDTH: 2' per occupant (NFPA most restrictive)
Corridor Width - 44"
Clear Door Opening - 32"
Stairs .3' per occupant

BUILDING SIZE & HEIGHT AS ALLOWED BY CODE AS DESIGNED

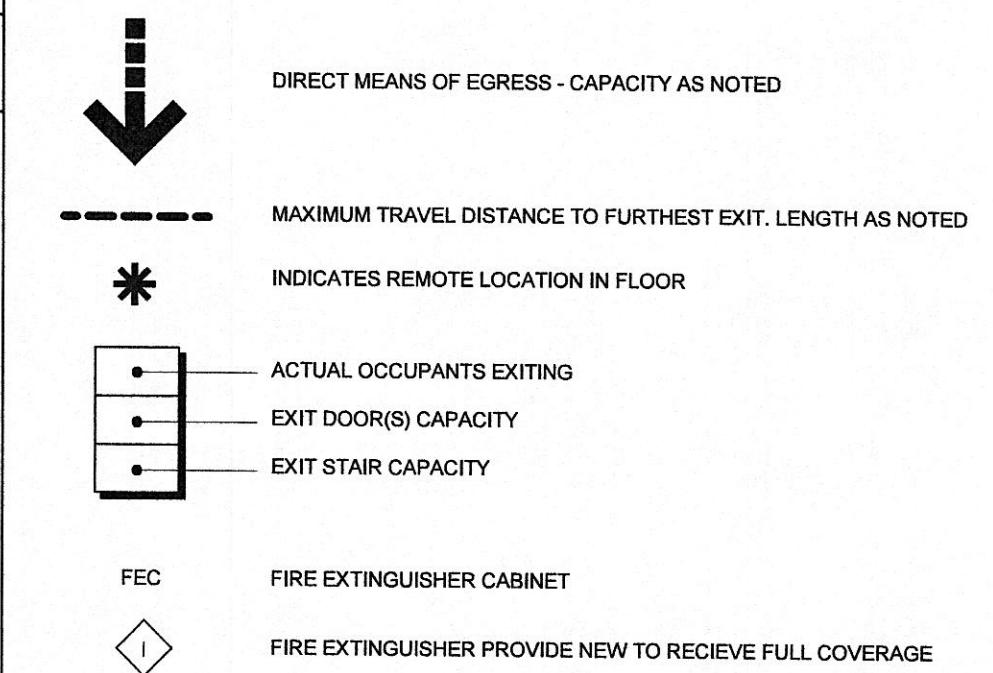
Area per Floor	9,000sf	7803 sf
No. of Stories	2 (+1 Sprinkled)	3
Max Building Height	40ft (+20 for Sprinkled)	45 - 6ft

PLUMBING: REQUIRED PROVIDED

Water Closets:	(3)M -(3)F	(5)M - (3)U (9)F
Lavatories:	(2)M -(2)F	(1)OM (1)OF
Drinking Fountains:	(3)	(1)
Service Sink:	(1)	(1)

2 Code Review

NTS



1 Graphic Legend

NTS



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Project Name:
Harriman Utility Board
300 N. Roane Street
Harriman, TN 37748

Project Number: 17155.00
Date: 07.13.18
Drawn By: T.Johnston
Checked By: K.Moran

Drawing Issued For:
☐ Schematic Design
☐ Design Development
☒ Construction

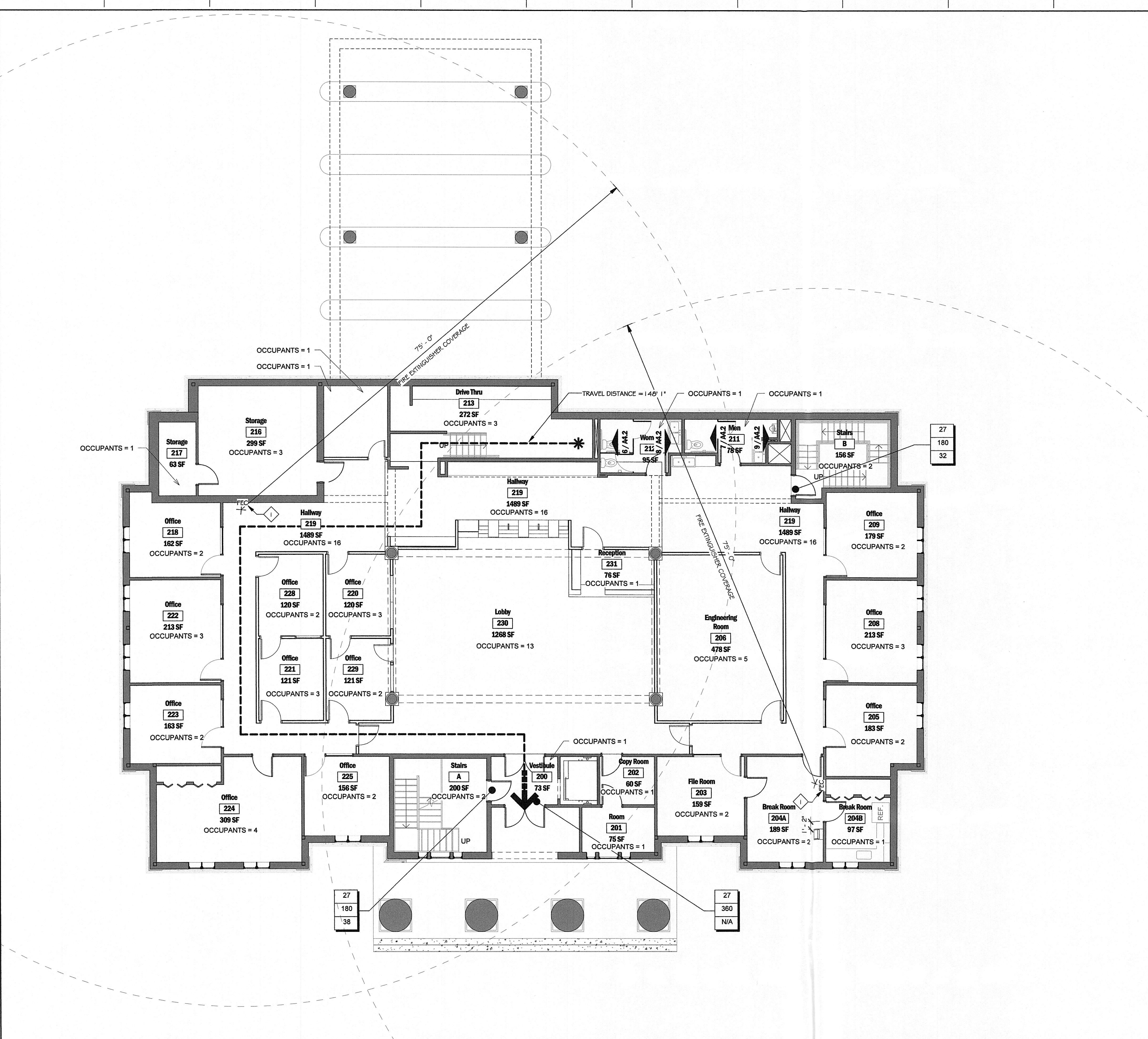
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No. Date Description

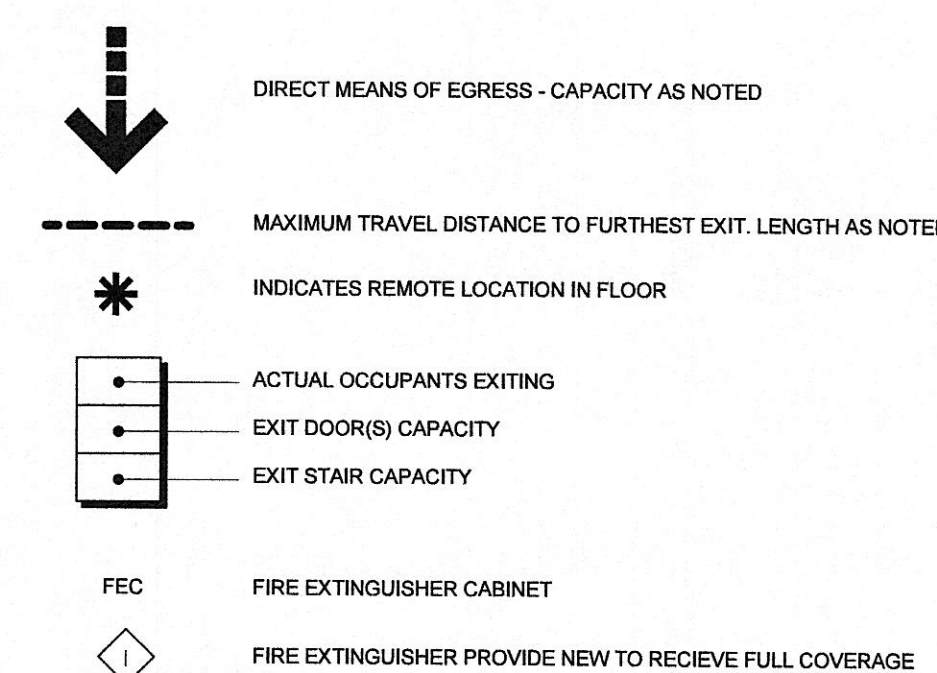
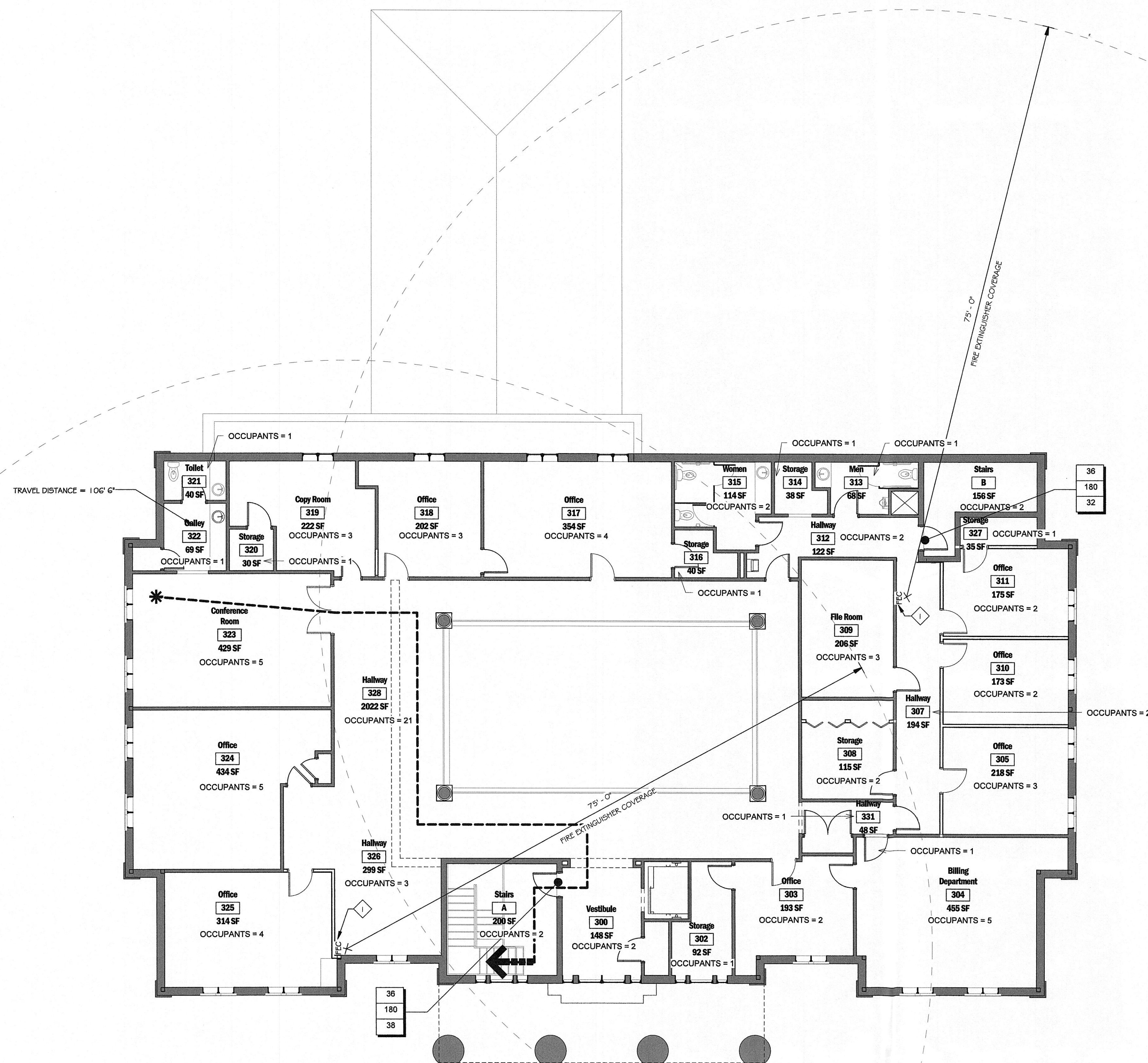
Sheet Title:
Life Safety Plan - Basement Floor & Code Review

Sheet No:

GO.3.0

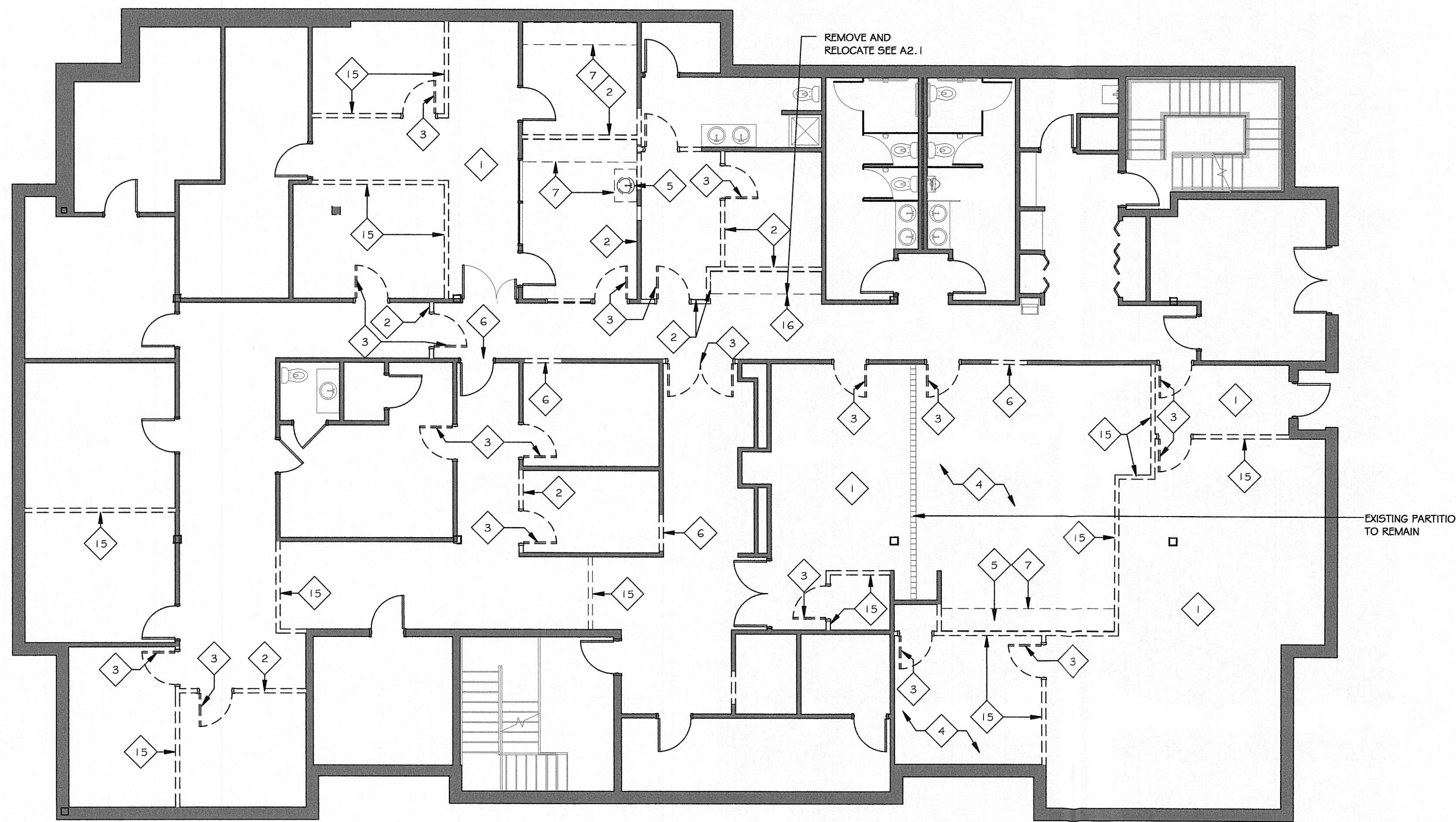
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Date: 7/13/2018 5:05:05 PM
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- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- PORTION OF EXISTING CEILING TO BE REMOVE / RECONFIGURED. SEE RCP FOR NEW HEIGHT / ARRANGEMENT.

1. TEMPORARILY REMOVE AND/OR PROTECT ALL EMERGENCY EXIT DEVICES, FIRE ALARMS, STROBES, HORNS, HVAC CONTROLS, SWITCHES, ETC. AND CAP WIRES AS REQUIRES TO PERMIT THE PROPER DEMOLITION OF EXISTING PARTITIONS AND CEILINGS.
2. GC TO REMOVE EXISTING INTERIOR WALLS AS INDICATED TO THE LIMIT SHOWN ON THE PLANS (DASHED). GC TO PATCH FLOOR, WALL AND CEILING.
3. REMOVE EXISTING DOORS, FRAMES, TRIM, ETC. AS NOTED ON PLANS (DASHED) UNLESS NOTED OTHERWISE, AND STORE FOR RELOCATION. GC TO PREP FOR WALL INFILL ACCORDINGLY. GC TO REUSE EXISTING DOOR IF POSSIBLE. DAMAGED ADJACENT AREAS TO BE REPAIRED.
4. EXISTING FLOORING REMOVED BY OWNER. GC TO PREPARE SURFACE FOR NEW FINISH.
5. REMOVE EXISTING PLUMBING FIXTURE.
6. REMOVE EXISTING WALL FOR NEW DOOR. SEE SHEET A6.1 FOR DOOR OPENING SIZE.
7. REMOVE EXISTING MILLWORK. (DASHED)
8. REMOVE EXISTING ACT / GYPSUM CEILING.
9. EXISTING LIGHT TO BE REMOVED AND RELOCATED.
10. REVERSE DOOR SWING TO DIRECTION INDICATED ON SHEET A2.3
11. REMOVE MILLWORK & SAVED FOR RECONFIGURATION. SEE SHEET A2.2
12. REMOVE EXISTING WALLCOVERING AND PREPARE WALLS FOR LEVEL 5 GYP FINISH TO RECEIVE PAINT
13. REMOVE EXISTING GYP FROM INTERIOR SIDE OF WINDOW.
14. EXISTING RAILING TO REMAIN INTACT.
15. OWNER TO REMOVE EXISTING INTERIOR WALLS AS INDICATED (AHEAD OF CONSTRUCTION) TO THE LIMIT SHOWN ON THE PLANS (DASHED). CONTRACTOR TO PATCH FLOOR, WALL, CEILING.
16. REMOVE AND RELOCATE EXISTING MILLWORK AS NOTED.

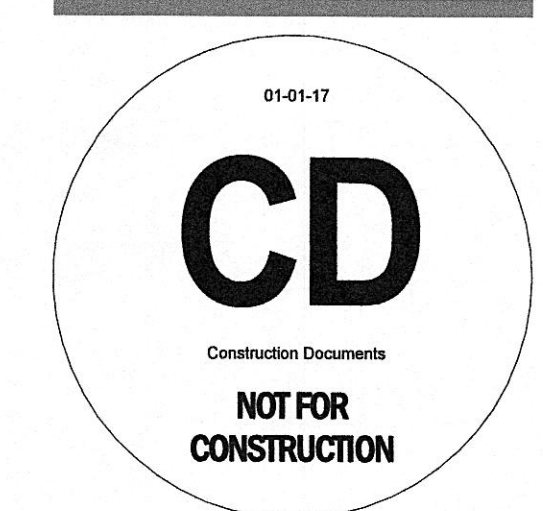
3 Keyed Notes - Demolition

1. DEMOLITION PLAN(S) ARE ISSUED AS AN EXPLANATORY SUPPLEMENT TO INDICATE THE APPROXIMATE SCOPE OF PROPOSED DEMOLITION AND AS SUCH ALL CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES. DEMOLITION WORK WILL REQUIRE COORDINATION WITH PROPOSED ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING & ELECTRICAL SYSTEMS. THEREFORE DEMOLITION PLAN(S) MAY NOT REPRESENT OR INCLUDE ALL DEMOLITION REQUIRED. CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND FIELD VERIFY ALL CONDITIONS PRIOR TO BIDDING OR CONSTRUCTION.
2. CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY UPON DISCOVERY OF DISCREPANCIES BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS.
3. EXISTING CONSTRUCTION TO REMAIN WITHIN AND SURROUNDING THE LIMITS OF DAMAGE OR DESTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING OR REPAIRING ANY ITEMS DAMAGED OR DESTROYED THAT WERE NOT INDICATED AS PART OF THE SCOPE OF DEMOLITION.
4. REMOVE ALL INTERIOR CONSTRUCTION INDICATED BY KEYNOTES, EXCEPT WHERE SPECIFICALLY INDICATED TO REMAIN. REMOVAL SHALL INCLUDE, BUT NOT BE LIMITED TO; INTERIOR AND EXTERIOR WALLS, DOORS, PARTITIONS, SUSPENDED ACOUSTICAL CEILINGS, LIGHT FIXTURES, ELECTRICAL DEVICES, FIRE ALARM DEVICES, CONDUIT, ELECTRICAL PANEL BOARDS, SWITCHES, PLUMBING LINES, PLUMBING FIXTURES, MILLWORK, FLOOR FINISHES, WINDOW TREATMENTS, DUCTWORK AND ASSOCIATED MECHANICAL PIPING, FIXTURES AND CONTROLS.
5. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY SHOULD THE PRESENCE OF HAZARDOUS MATERIALS BE SUSPECTED OR IDENTIFIED DURING DEMOLITION ACTIVITIES.
6. DIMENSIONS SHOWN ARE APPROXIMATE DUE TO VARIATIONS IN EXISTING CONDITIONS, AND ARE GIVEN FOR REFERENCE ONLY.
7. GC SHALL COORDINATE WITH LANDLORD PRIOR TO COMMENCEMENT OF DEMOLITION WORK ALL PROCEDURES (E.G. SCHEDULING OF ACTIVITIES, SHUTDOWNS, ETC.) AND LOCATION OF DUMPSTER FOR DISPOSAL OF ALL REMOVED ITEMS.
8. ANY DAMAGE TO LANDLORD'S PROPERTY DURING TENANT DEMOLITION OR CONSTRUCTION (WALL FLOORING, BULKHEAD, NEUTRAL PIERS, ETC.) WILL BE REPAIRED PER SPECIFICATIONS, AT GC'S EXPENSE.
9. ANY EXISTING EQUIPMENT OR COMPONENT IN OR PERTAINING TO THE PREMISES THAT IS BEING ABANDONED MUST BE DEMOLISHED COMPLETELY AND PROPERLY REMOVED FROM THE PREMISES.
10. ALL ABOVE GROUND UTILITY LINES NOT THE BE REUSED MUST BE REMOVED TO THE POINT OF ORIGIN. ALL UNDER SLAB UTILITY LINES TO BE CUT, CAPPED AND SEALED PER CODE.
11. ROOF MUST BE PROPERLY PATCHED BY LANDLORD APPROVED ROOFER. ROOF CURBS MUST BE REMOVED AND ROOF PATCHED- DO NOT CAP.
12. GC SHALL COORDINATE WORK PERFORMED BY OTHER CONTRACTORS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE OWNERS ATTENTION BEFORE PROCEEDING WITH WORK.



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☐ Design Development
☒ Construction

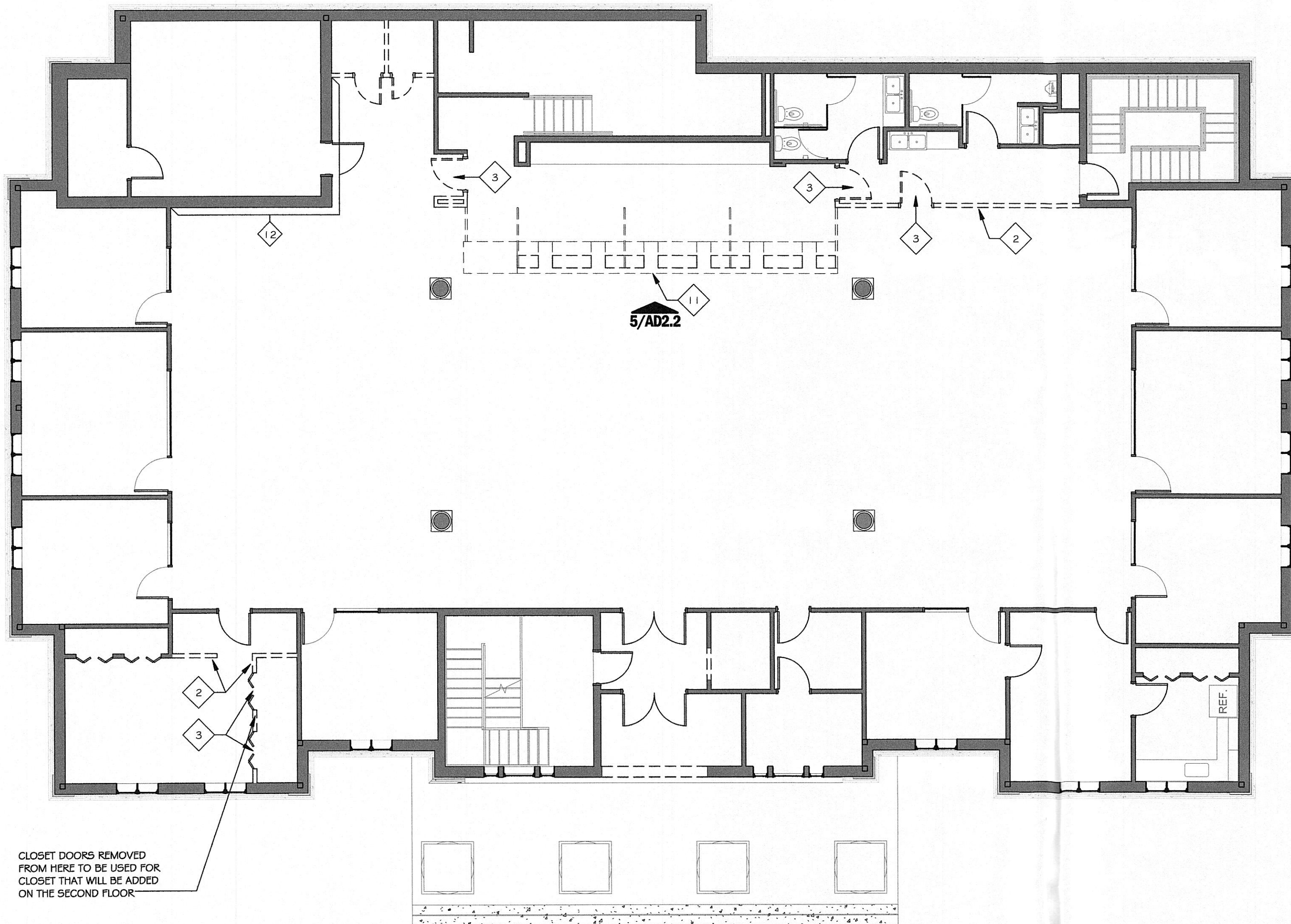
Revisions:
No. Date Description

Sheet Title:
Demolition Plan - Basement

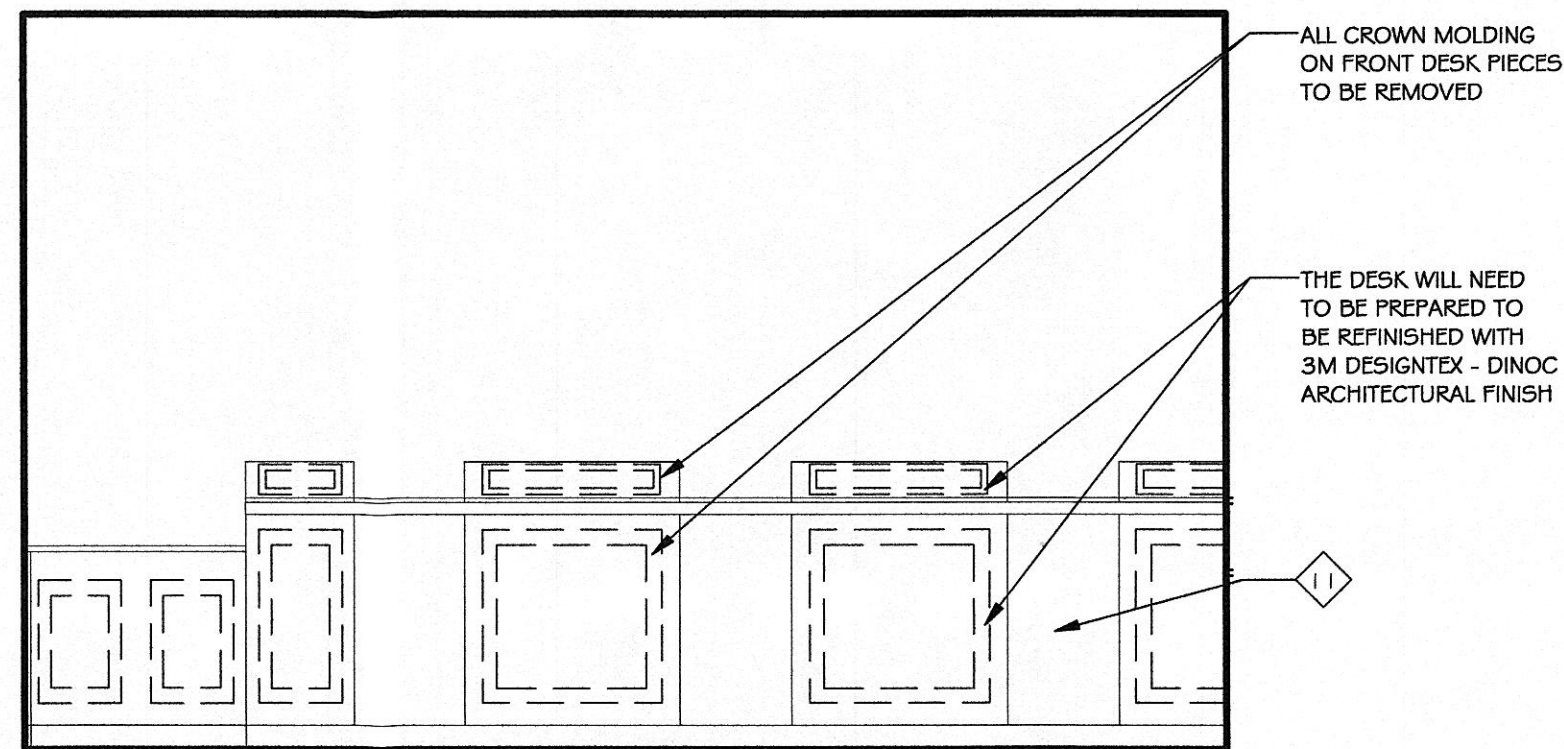
Sheet No:

AD2.1

4 Floor Plan - Main Floor - Demolition
1/8" = 1'-0"



5 Front Elevation of Desk Demo
3/8" = 1'-0"



- 1 TEMPORARILY REMOVE AND/OR PROTECT ALL EMERGENCY EXIT DEVICES, FIRE ALARMS, STROBES, HORNS, HVAC CONTROLS, SWITCHES, ETC. AND CAP WIRES AS REQUIRED TO PERMIT THE PROPER DEMOLITION OF EXISTING PARTITIONS AND CEILINGS.
- 2 GC TO REMOVE EXISTING INTERIOR WALLS AS INDICATED TO THE LIMIT SHOWN ON THE PLANS (DASHED). GC TO PATCH FLOOR, WALL AND CEILING.
- 3 REMOVE EXISTING DOORS, FRAMES, TRIM, ETC. AS NOTED ON PLANS (DASHED) UNLESS NOTED OTHERWISE, AND STORE FOR RELOCATION. GC TO PREP FOR WALL INFILL ACCORDINGLY. GC TO REUSE EXISTING DOOR IF POSSIBLE. DAMAGED ADJACENT AREAS TO BE REPAIRED.
- 4 EXISTING FLOORING REMOVED BY OWNER. GC TO PREPARE SURFACE FOR NEW FINISH.
- 5 REMOVE EXISTING PLUMBING FIXTURE.
- 6 REMOVE EXISTING WALL FOR NEW DOOR. SEE SHEET A6.1 FOR DOOR OPENING SIZE.
- 7 REMOVE EXISTING MILLWORK. (DASHED)
- 8 REMOVE EXISTING ACT / GYPSUM CEILING.
- 9 EXISTING LIGHT TO BE REMOVED AND RELOCATED.
- 10 REVERSE DOOR SWING TO DIRECTION INDICATED ON SHEET A2.3
- 11 REMOVE MILLWORK & SAVED FOR RECONFIGURATION. SEE SHEET A2.2
- 12 REMOVE EXISTING WALLCOVERING AND PREPARE WALLS FOR LEVEL 5 GYP FINISH TO RECEIVE PAINT
- 13 REMOVE EXISTING GYP FROM INTERIOR SIDE OF WINDOW.

3 Keyed Notes - Demolition

- OWNER TO REMOVE EXISTING INTERIOR WALLS AS INDICATED (AHEAD OF CONSTRUCTION) TO THE LIMIT SHOWN ON THE PLANS (DASHED). CONTRACTOR TO PATCH FLOOR, WALL, CEILING.
- EXISTING WALL TO REMAIN
REMOVE AND RELOCATE EXISTING MILLWORK AS NOTED.
EXISTING WALL TO BE DEMOLISHED
- PORTION OF EXISTING CEILING TO BE REMOVE / RECONFIGURED. SEE RCP FOR NEW HEIGHT / ARRANGEMENT.

2 Legend - Demolition

1. DEMOLITION PLAN(S) ARE ISSUED AS AN EXPLANATORY SUPPLEMENT TO INDICATE THE APPROXIMATE SCOPE OF PROPOSED DEMOLITION AND AS SUCH ALL CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES. DEMOLITION WORK WILL REQUIRE COORDINATION WITH PROPOSED ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING & ELECTRICAL SYSTEMS. THEREFORE DEMOLITION PLAN(S) MAY NOT REPRESENT OR INCLUDE ALL DEMOLITION REQUIRED. CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND FIELD VERIFY ALL CONDITIONS PRIOR TO BIDDING OR CONSTRUCTION.
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1 General Notes - Demolition



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Project Name:
Harriman Utility Board
300 N. Roane Street
Harriman, TN 37748

Project Number: 17155.00
Date: 07.13.18
Drawn By: T.Johnston
Checked By: K.Moran

Drawing Issued For:
☐ Schematic Design
☐ Design Development
☒ Construction

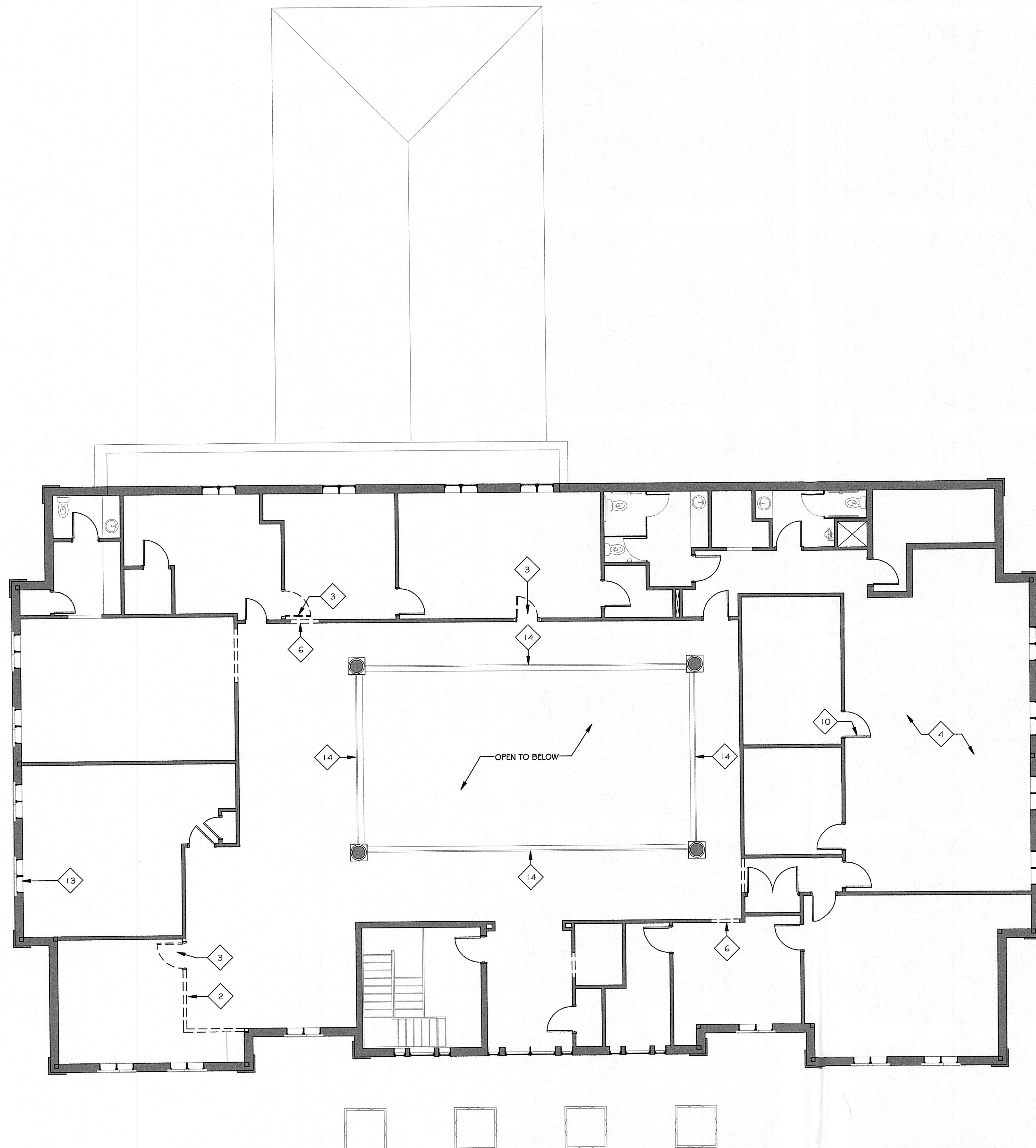
Revisions:
No. Date Description

Sheet Title:
Demolition Plan - Main Floor

Sheet No:
AD2.2

Date: 7/13/2018 4:59:48 PM
User: T.Johnston
File: C:\Bent Local Files\17155.00_Hartman Utilities Board_Model01.dgn\16.rvt

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4 Floor Plan - Second Floor - Demolition
1/8" = 1'-0"

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- 4 EXISTING FLOORING REMOVED BY OWNER. GC TO PREPARE SURFACE FOR NEW FINISH.
- 5 REMOVE EXISTING PLUMBING FIXTURE.
- 6 REMOVE EXISTING WALL FOR NEW DOOR. SEE SHEET AB.1 FOR DOOR OPENING SIZE.
- 7 REMOVE EXISTING MILLWORK. (DASHED)
- 8 REMOVE EXISTING ACT / GYPSUM CEILING.
- 9 EXISTING LIGHT TO BE REMOVED AND RELOCATED.
- 10 REVERSE DOOR SWING TO DIRECTION INDICATED ON SHEET A2.3
- 11 REMOVE MILLWORK & SAVED FOR RECONFIGURATION. SEE SHEET A2.2
- 12 REMOVE EXISTING WALLCOVERING AND PREPARE WALLS FOR LEVEL 5 GYP FINISH TO RECEIVE PAINT
- 13 REMOVE EXISTING GYP FROM INTERIOR SIDE OF WINDOW.
- 14 EXISTING RAILING TO REMAIN INTACT.

3 Keyed Notes - Demolition

OWNER TO REMOVE EXISTING INTERIOR WALLS AS INDICATED (AHEAD OF CONSTRUCTION) TO THE LIMIT SHOWN ON THE PLANS (DASHED). CONTRACTOR TO PATCH FLOOR, WALL CEILING.

- 16 EXISTING WALL TO REMAIN. REMOVE AND RELOCATE EXISTING MILLWORK AS NOTED.
- EXISTING WALL TO BE DEMOLISHED
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2 Legend - Demolition

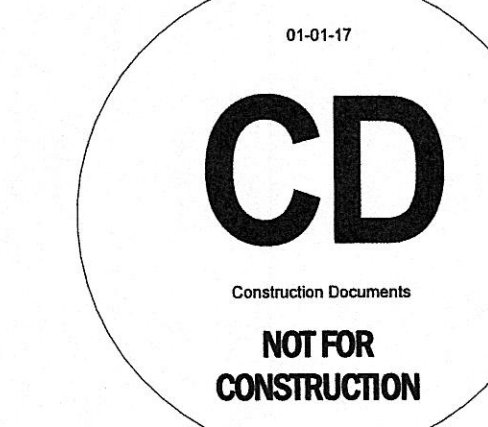
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1 General Notes - Demolition



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Project Name:
Hartman Utility Board
300 N. Roane Street
Hartman, TN 37748

Project Number: 17155.00
Date: 07.13.18
Drawn By: T.Johnston
Checked By: K.Moran

Drawing Issued For:
☐ Schematic Design
☐ Design Development
☒ Construction

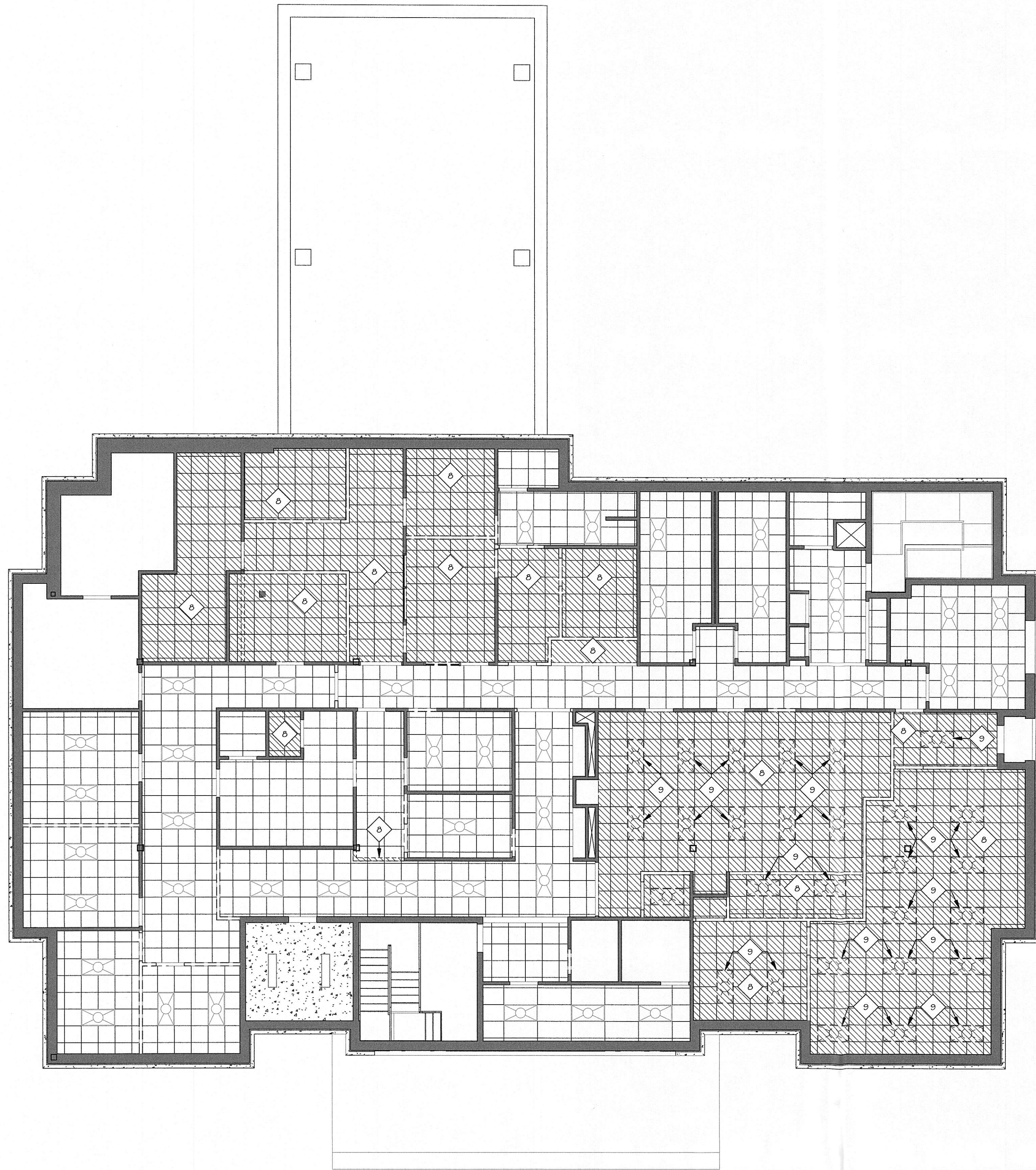
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Sheet Title:
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Sheet No:
AD2.3

Date: 7/13/2018 4:55:56 PM
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4 RCP - Basement Demolition
1/8" = 1'-0"

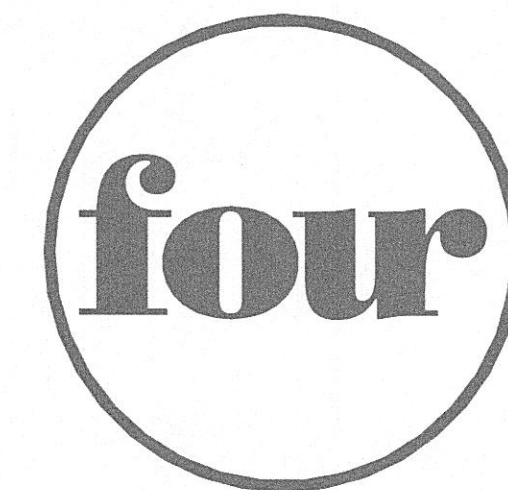
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- 6 REMOVE EXISTING WALL FOR NEW DOOR. SEE SHEET A8.1 FOR DOOR OPENING SIZE.
- 7 REMOVE EXISTING MILLWORK. (DASHED)
- 8 REMOVE EXISTING ACT / GYPSUM CEILING.
- 9 EXISTING LIGHT TO BE REMOVED AND RELOCATED.
- 10 REVERSE DOOR SWING TO DIRECTION INDICATED ON SHEET A2.3
- 11 REMOVE MILLWORK & SAVED FOR RECONFIGURATION. SEE SHEET A2.2
- 12 REMOVE EXISTING WALLCOVERING AND PREPARE WALLS FOR LEVEL 5 GYP FINISH TO RECEIVE PAINT
- 13 REMOVE EXISTING GYP FROM INTERIOR SIDE OF WINDOW.

- 3 Keyed Notes - Demolition
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2 Legend - Demolition

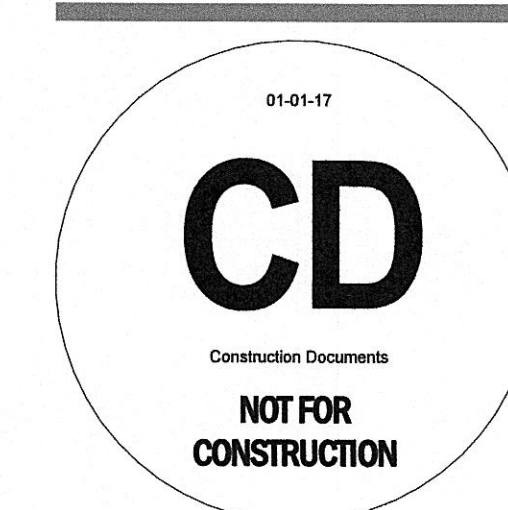
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1 General Notes - Demolition



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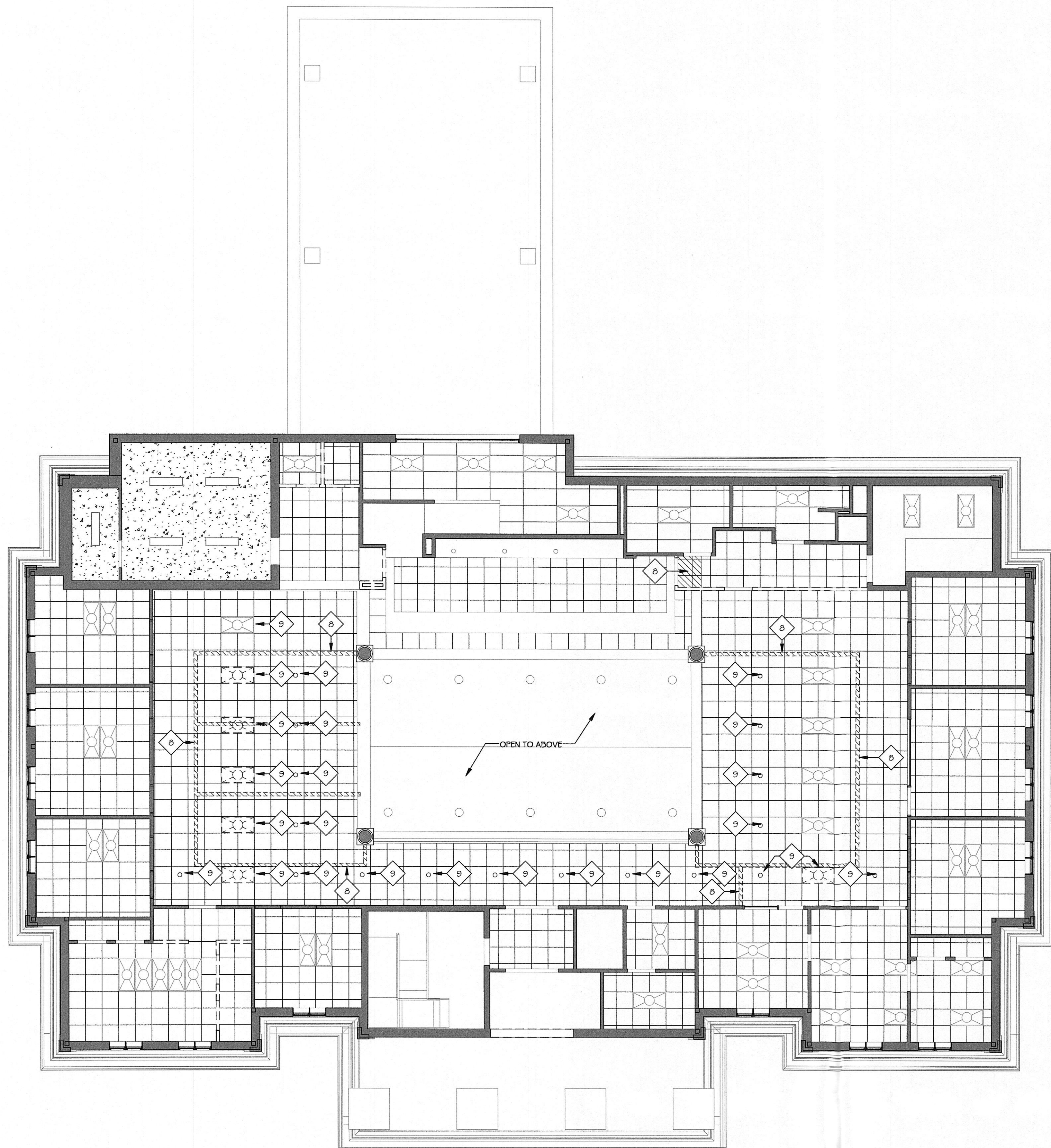
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Sheet Title:
Demolition Plan - Basement RCP

Sheet No:
AD3.1

Date: 7/13/2018 5:00:10 PM
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4 RCP - Main Floor Demolition
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- 6 REMOVE EXISTING WALL FOR NEW DOOR. SEE SHEET A0.1 FOR DOOR OPENING SIZE.
- 7 REMOVE EXISTING MILLWORK. (DASHED)
- 8 REMOVE EXISTING ACT / GYPSUM CEILING.
- 9 EXISTING LIGHT TO BE REMOVED AND RELOCATED.
- 10 REVERSE DOOR SWING TO DIRECTION INDICATED ON SHEET A2.3
- 11 REMOVE MILLWORK & SAVED FOR RECONFIGURATION. SEE SHEET A2.2
- 12 REMOVE EXISTING WALLCOVERING AND PREPARE WALLS FOR LEVEL 5 GYP FINISH TO RECEIVE PAINT
- 13 REMOVE EXISTING GYP FROM INTERIOR SIDE OF WINDOW.

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3 Keyed Notes - Demolition
OWNER TO REMOVE EXISTING INTERIOR WALLS AS INDICATED (AHEAD OF CONSTRUCTION) TO THE LIMIT SHOWN ON THE PLANS (DASHED). CONTRACTOR TO PATCH FLOOR, WALL CEILING.

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- /// PORTION OF EXISTING CEILING TO BE REMOVE / RECONFIGURED. SEE RCP FOR NEW HEIGHT / ARRANGEMENT.

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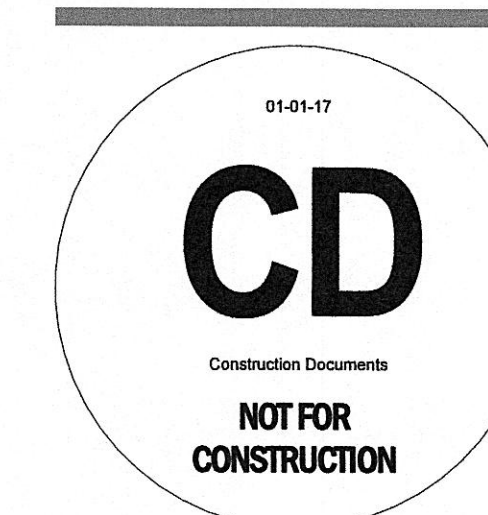
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Project Name:
Hartman Utility Board
300 N. Roane Street
Hartman, TN 37748

Project Number: 17155.00
Date: 07.13.18
Drawn By: T.Johnston
Checked By: K.Moran

Drawing Issued For:
☐ Schematic Design
☐ Design Development
☒ Construction

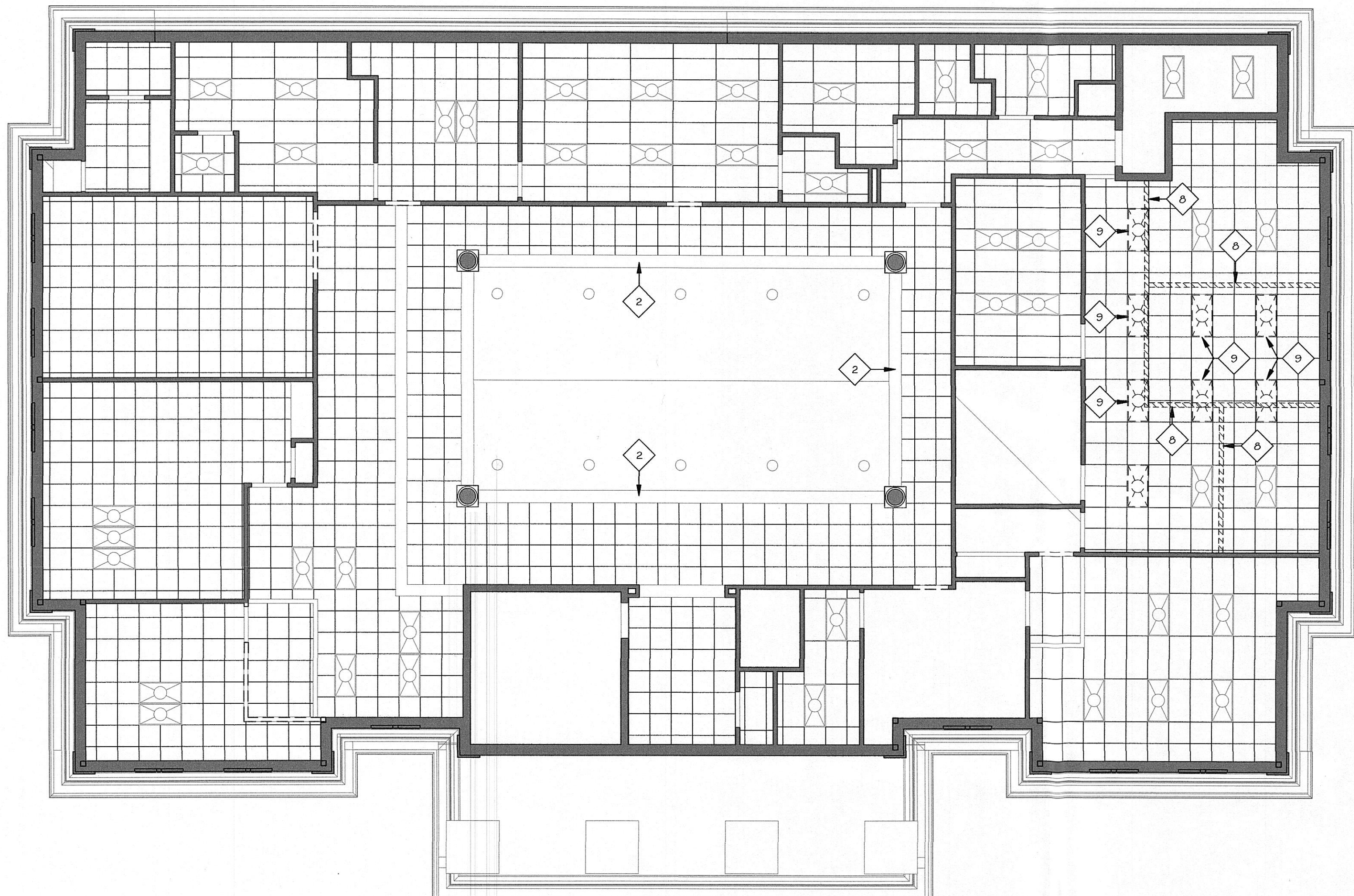
Revisions:
No. Date Description

Sheet Title:
Demolition Plan - Main Floor RCP

Sheet No:
AD3.2

Date: 7/13/2018 5:00:18 PM
User: T.Johnston
File: C:\Next Local Files\17155.00_Harriman Utilities Board_Model01_Layout16.rvt

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4 RCP - Second Floor Demolition
1/8" = 1'-0"

- 1 TEMPORARILY REMOVE AND/OR PROTECT ALL EMERGENCY EXIT DEVICES, FIRE ALARMS, STROBES, HORNS, HVAC CONTROLS, SWITCHES, ETC. AND CAP WIRES AS REQUIRED TO PERMIT THE PROPER DEMOLITION OF EXISTING PARTITIONS AND CEILINGS.
- 2 GC TO REMOVE EXISTING INTERIOR WALLS AS INDICATED TO THE LIMIT SHOWN ON THE PLANS (DASHED). GC TO PATCH FLOOR, WALL AND CEILING.
- 3 REMOVE EXISTING DOORS, FRAMES, TRIM, ETC. AS NOTED ON PLANS (DASHED) UNLESS NOTED OTHERWISE, AND STORE FOR RELOCATION. GC TO PREP FOR WALL INFILL ACCORDINGLY. GC TO REUSE EXISTING DOOR IF POSSIBLE. DAMAGED ADJACENT AREAS TO BE REPAIRED.
- 4 EXISTING FLOORING REMOVED BY OWNER. GC TO PREPARE SURFACE FOR NEW FINISH.
- 5 REMOVE EXISTING PLUMBING FIXTURE.
- 6 REMOVE EXISTING WALL FOR NEW DOOR. SEE SHEET AB.1 FOR DOOR OPENING SIZE.
- 7 REMOVE EXISTING MILLWORK. (DASHED)
- 8 REMOVE EXISTING ACT / GYPSUM CEILING.
- 9 EXISTING LIGHT TO BE REMOVED AND RELOCATED.
- 10 REVERSE DOOR SWING TO DIRECTION INDICATED ON SHEET A2.3
- 11 REMOVE MILLWORK & SAVED FOR RECONFIGURATION. SEE SHEET A2.2
- 12 REMOVE EXISTING WALLCOVERING AND PREPARE WALLS FOR LEVEL 5 GYP FINISH TO RECEIVE PAINT
- 13 REMOVE EXISTING GYP FROM INTERIOR SIDE OF WINDOW.
- 14 EXISTING RAILING TO REMAIN INTACT.

3 Keyed Notes - Demolition

OWNER TO REMOVE EXISTING INTERIOR WALLS AS INDICATED (AHEAD OF CONSTRUCTION) TO THE LIMIT SHOWN ON THE PLANS (DASHED). CONTRACTOR TO PATCH FLOOR, WALL, CEILING.

- EXISTING WALL TO REMAIN
- REMOVE AND RELOCATE EXISTING MILLWORK AS NOTED.
- EXISTING WALL TO BE DEMOLISHED

PORTION OF EXISTING CEILING TO BE REMOVE / RECONFIGURED. SEE RCP FOR NEW HEIGHT / ARRANGEMENT.

2 Legend - Demolition

1. DEMOLITION PLAN(S) ARE ISSUED AS AN EXPLANATORY SUPPLEMENT TO INDICATE THE APPROXIMATE SCOPE OF PROPOSED DEMOLITION AND AS SUCH ALL CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES. DEMOLITION WORK WILL REQUIRE COORDINATION WITH PROPOSED ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING & ELECTRICAL SYSTEMS. THEREFORE DEMOLITION PLAN(S) MAY NOT REPRESENT OR INCLUDE ALL DEMOLITION REQUIRED. CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND FIELD VERIFY ALL CONDITIONS PRIOR TO BIDDING OR CONSTRUCTION.
2. CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY UPON DISCOVERY OF DISCREPANCIES BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS.
3. EXISTING CONSTRUCTION TO REMAIN WITHIN AND SURROUNDING THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED AS NECESSARY DURING DEMOLITION TO AVOID DAMAGE OR DESTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING OR REPAIRING ANY ITEMS DAMAGED OR DESTROYED THAT WERE NOT INDICATED AS PART OF THE SCOPE OF DEMOLITION.
4. REMOVE ALL INTERIOR CONSTRUCTION INDICATED BY KEYNOTES, EXCEPT WHERE SPECIFICALLY INDICATED TO REMAIN. REMOVAL SHALL INCLUDE, BUT NOT BE LIMITED TO: INTERIOR AND EXTERIOR WALLS, DOORS, PARTITIONS, SUSPENDED ACOUSTICAL CEILINGS, LIGHT FIXTURES, ELECTRICAL DEVICES, FIRE ALARM DEVICES, CONDUIT, ELECTRICAL PANEL BOARDS, SWITCHES, PLUMBING LINES, PLUMBING FIXTURES, MILLWORK, FLOOR FINISHES, WINDOW TREATMENTS, DUCTWORK AND ASSOCIATED MECHANICAL PIPING, FIXTURES AND CONTROLS.
5. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY SHOULD THE PRESENCE OF HAZARDOUS MATERIALS BE SUSPECTED OR IDENTIFIED DURING DEMOLITION ACTIVITIES.
6. DIMENSIONS SHOWN ARE APPROXIMATE DUE TO VARIATIONS IN EXISTING CONDITIONS, AND ARE GIVEN FOR REFERENCE ONLY.
7. GC SHALL COORDINATE WITH LANDLORD PRIOR TO COMMENCEMENT OF DEMOLITION WORK ALL PROCEDURES (E.G. SCHEDULING OF ACTIVITIES, SHUTDOWNS, ETC.) AND LOCATION OF DUMPSTER FOR DISPOSAL OF ALL REMOVED ITEMS.
8. ANY DAMAGE TO LANDLORD'S PROPERTY DURING TENANT DEMOLITION OR CONSTRUCTION (WALL FLOORING, BULKHEAD, NEUTRAL PIERS, ETC.) WILL BE REPAIRED PER SPECIFICATIONS, AT GC'S EXPENSE.
9. ANY EXISTING EQUIPMENT OR COMPONENT IN OR PERTAINING TO THE PREMISES THAT IS BEING ABANDONED MUST BE DEMOLISHED COMPLETELY AND PROPERLY REMOVED FROM THE PREMISES.
10. ALL ABOVE GROUND UTILITY LINES NOT THE BE REUSED MUST BE REMOVED TO THE POINT OF ORIGIN. ALL UNDER SLAB UTILITY LINES TO BE CUT, CAPPED AND SEALED PER CODE.
11. ROOF MUST BE PROPERLY PATCHED BY LANDLORD APPROVED ROOFER. ROOF CURBS MUST BE REMOVED AND ROOF PATCHED- DO NOT CAP.
12. GC SHALL COORDINATE WORK PERFORMED BY OTHER CONTRACTORS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE OWNERS ATTENTION BEFORE PROCEEDING WITH WORK.

1 General Notes - Demolition



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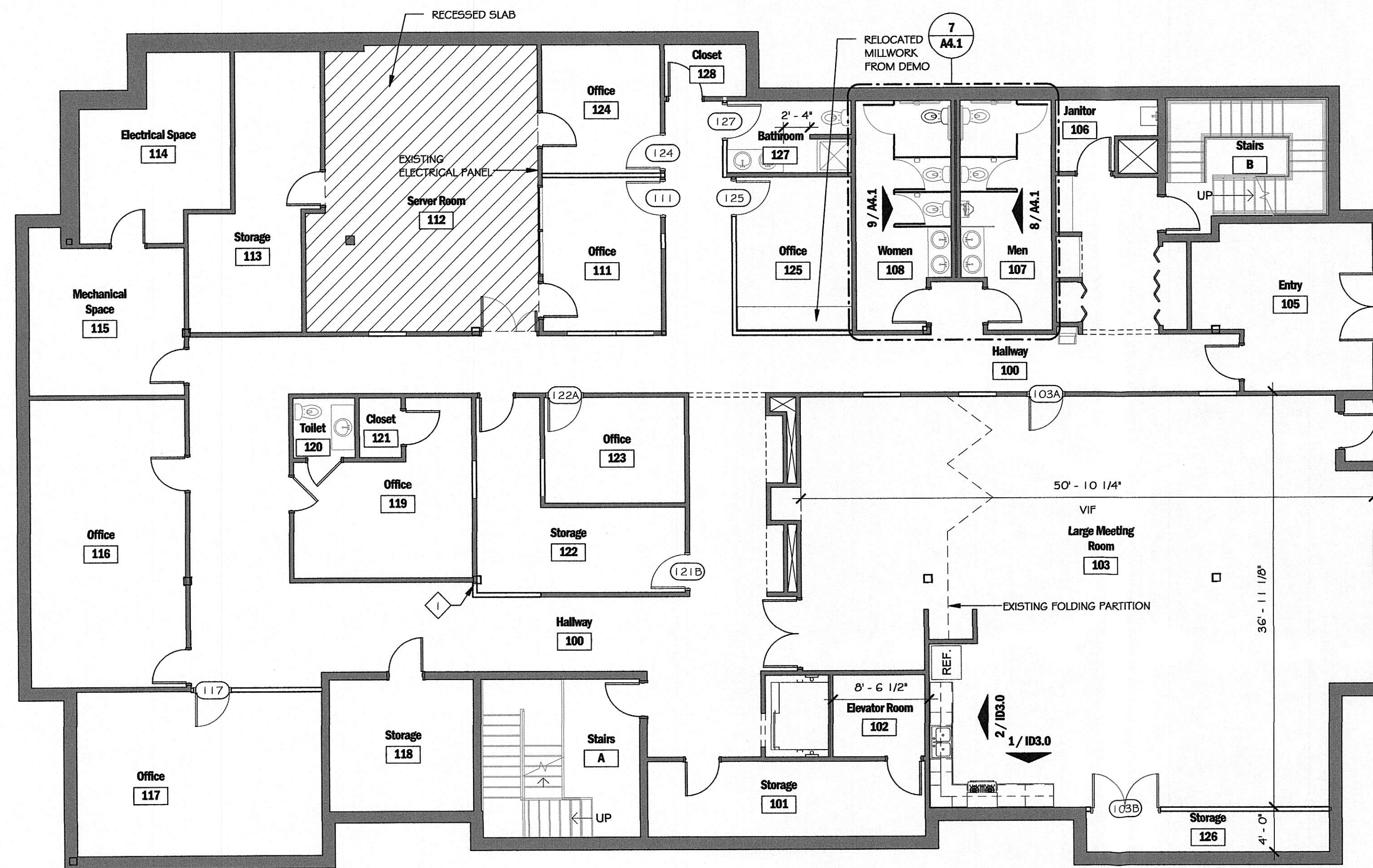
Revisions:
No. Date Description

Sheet Title:
Demolition Plan - Second Floor RCP

Sheet No:
AD3.3

Date: 7/13/2018 4:56:57 PM
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NOTE: ALL NEW WALLS TO BE TYPE A2 UNLESS NOTED OTHERWISE.

- NEW NON RATED PARTITION WALL
- EXISTING WALL/PARTITION TO REMAIN - NON RATED
- SOFFIT ABOVE. SEE A3.1
- NOTE: GC TO BRACE NEW WALLS AS NECESSARY
- NEW INFILL WALLS TO ALIGN WITH EXISTING

2 Symbols Legend

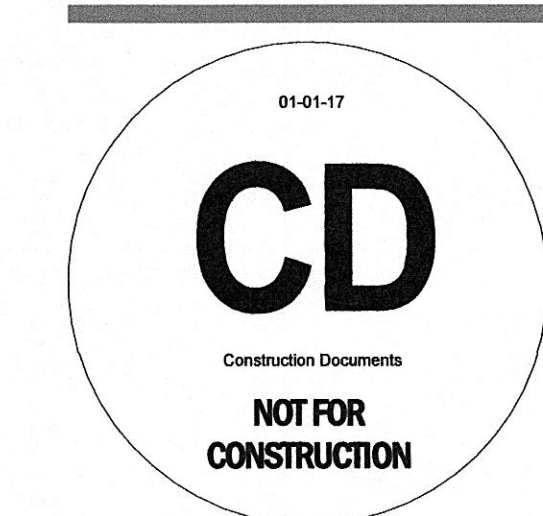
- ALL DIMENSIONS ARE TO BE FROM FACE OF METAL STUD OR TO FACE OF EXISTING WALL. VERIFY IN FIELD.
- ALL PARTITIONS TERMINATED ABOVE CEILING SHALL HAVE FRAMING EXTENDING AS NECESSARY TO STRUCTURE ABOVE TO ENSURE ADEQUATE BRACING AND STABILITY.
- ALL MTL. STUD FRAMING USED FOR INTERIOR PARTITIONS SHALL BE SPACED AT 16" O.C. UNLESS OTHERWISE NOTED.
- ALL EXPOSED INTERIOR GYPSUM CORNERS TO RECEIVE CORNER GUARDS FROM 1'-0" A.F.F. TO 5'-0" A.F.F. - TYP.
- ALL DOORS ARE TO BE 4" OFF STUD UNLESS NOTED OTHERWISE.
- ALL INTERIOR WALLS TO BE TYPE (A1) UNLESS NOTED OTHERWISE

1 General Notes



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Revisions:
No. Date Description

Sheet Title:
Floor Plan - Basement

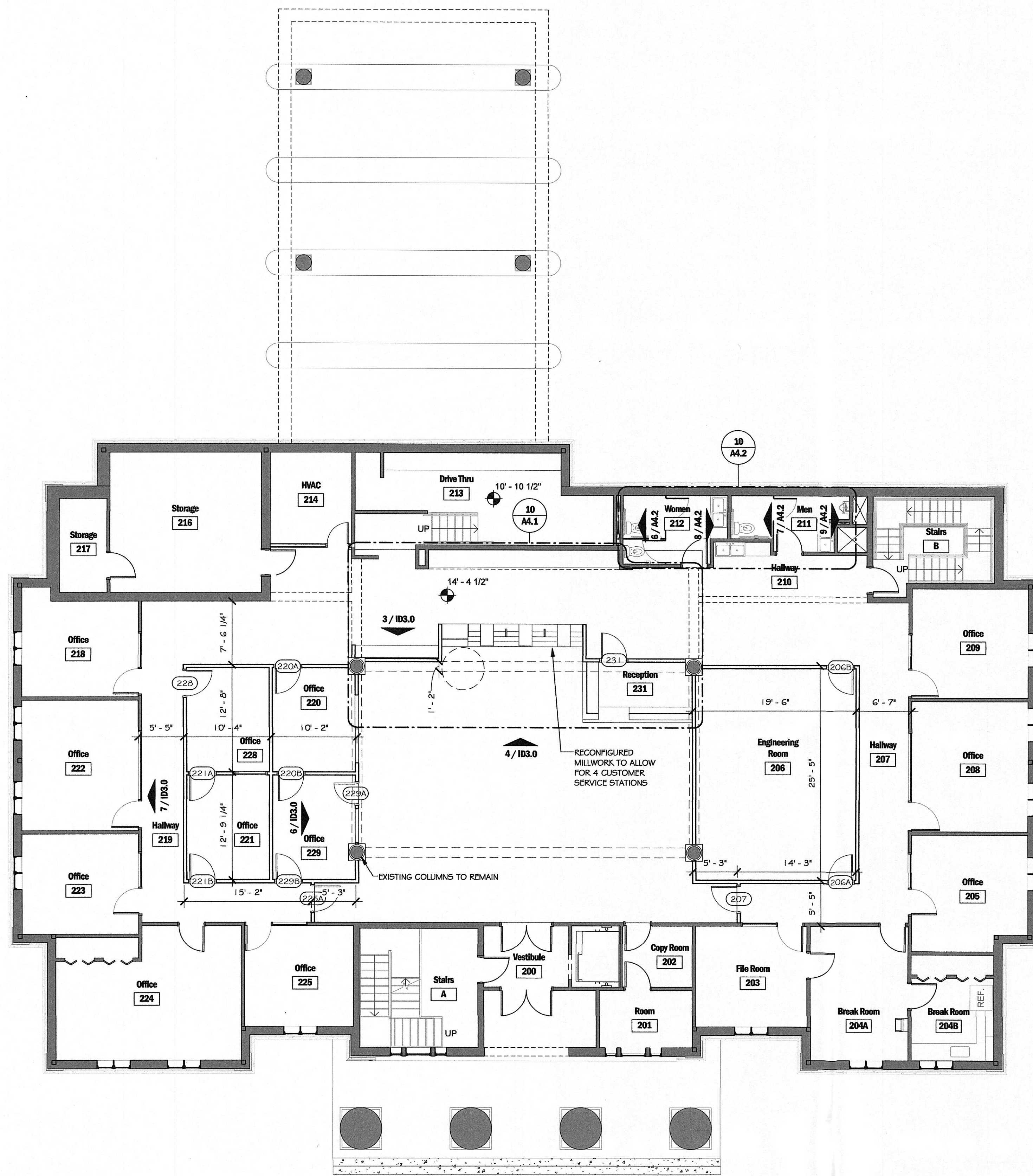
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4 Floor Plan - Main Floor
1/8" = 1'-0"



NOTE: ALL NEW WALLS TO BE TYPE A2 UNLESS NOTED OTHERWISE.

- NEW NON RATED PARTITION WALL
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- NEW INFILL WALLS TO ALIGN WITH EXISTING

2 Symbols Legend

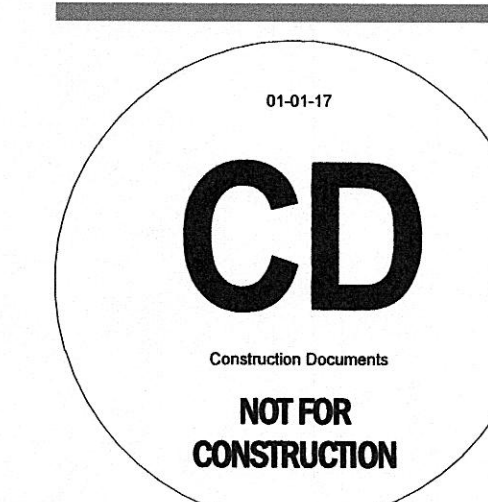
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1 General Notes



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No. Date Description

Sheet Title:
Floor Plan - Main Floor

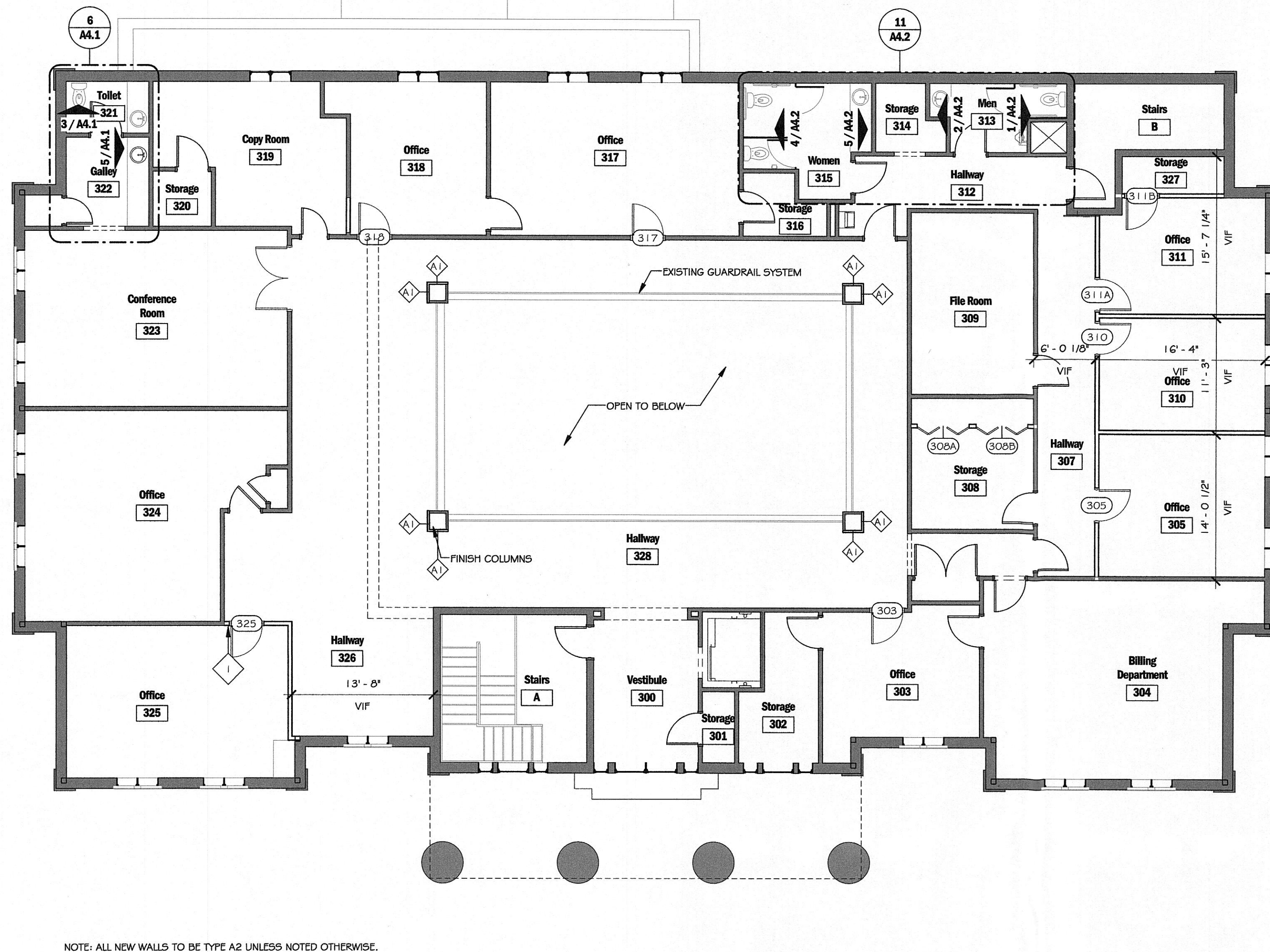
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4 Floor Plan - Second Floor
1/8" = 1'-0"



- NEW NON RATED PARTITION WALL
- EXISTING WALL/PARTITION TO REMAIN - NON RATED
- SOFFIT ABOVE. SEE A3.1
- NOTE: GC TO BRACE NEW WALLS AS NECESSARY
- NEW INFILL WALLS TO ALIGN WITH EXISTING

2 Symbols Legend
NTS

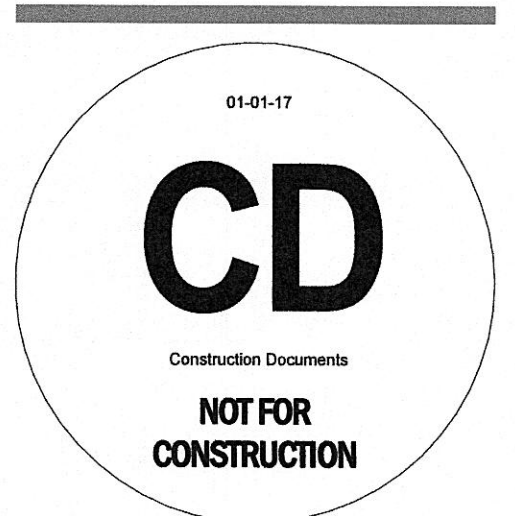
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1 General Notes



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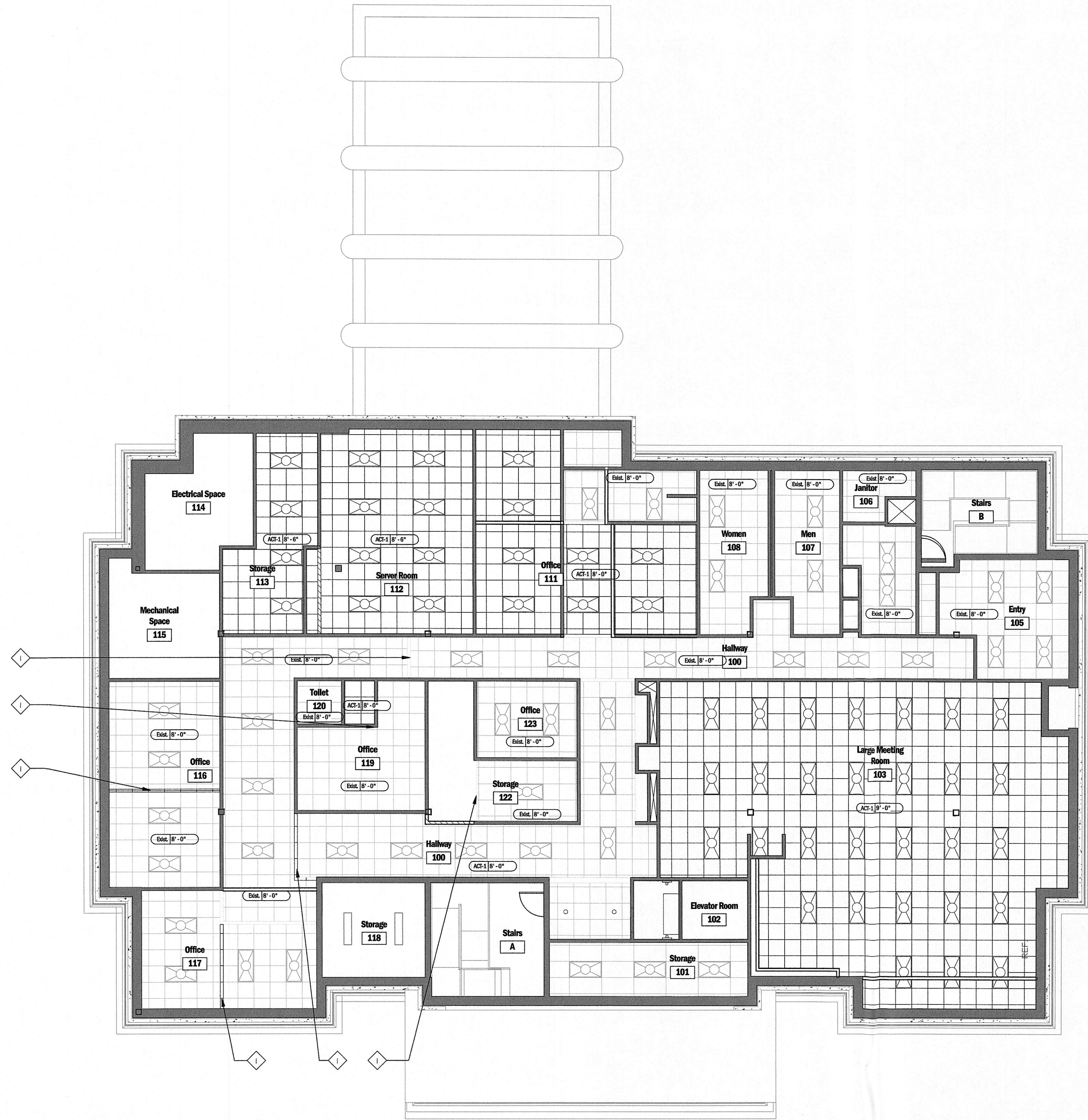
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ALIGN AND PATCH TO MATCH

2 Reflected Ceiling Keyed Notes

- GYPSUM BOARD CEILING
- 2X2' CEILING TILE
- EXISTING 2X2' CEILING TILE
- NEW / RELOCATED 2X4' FLUORESCENT RECESSED TROFFER
- NEW / RELOCATED 6" OPEN DOWNLIGHT
- EXISTING FLUORESCENT TROFFER
- EXISTING FLUORESCENT SURFACE MOUNTED
- EXISTING DOWNLIGHT
- ACCENT PENDANT SEE SCHEDULE
- ACCENT PENDANT SEE SCHEDULE

1 Reflected Ceiling Plan Legend



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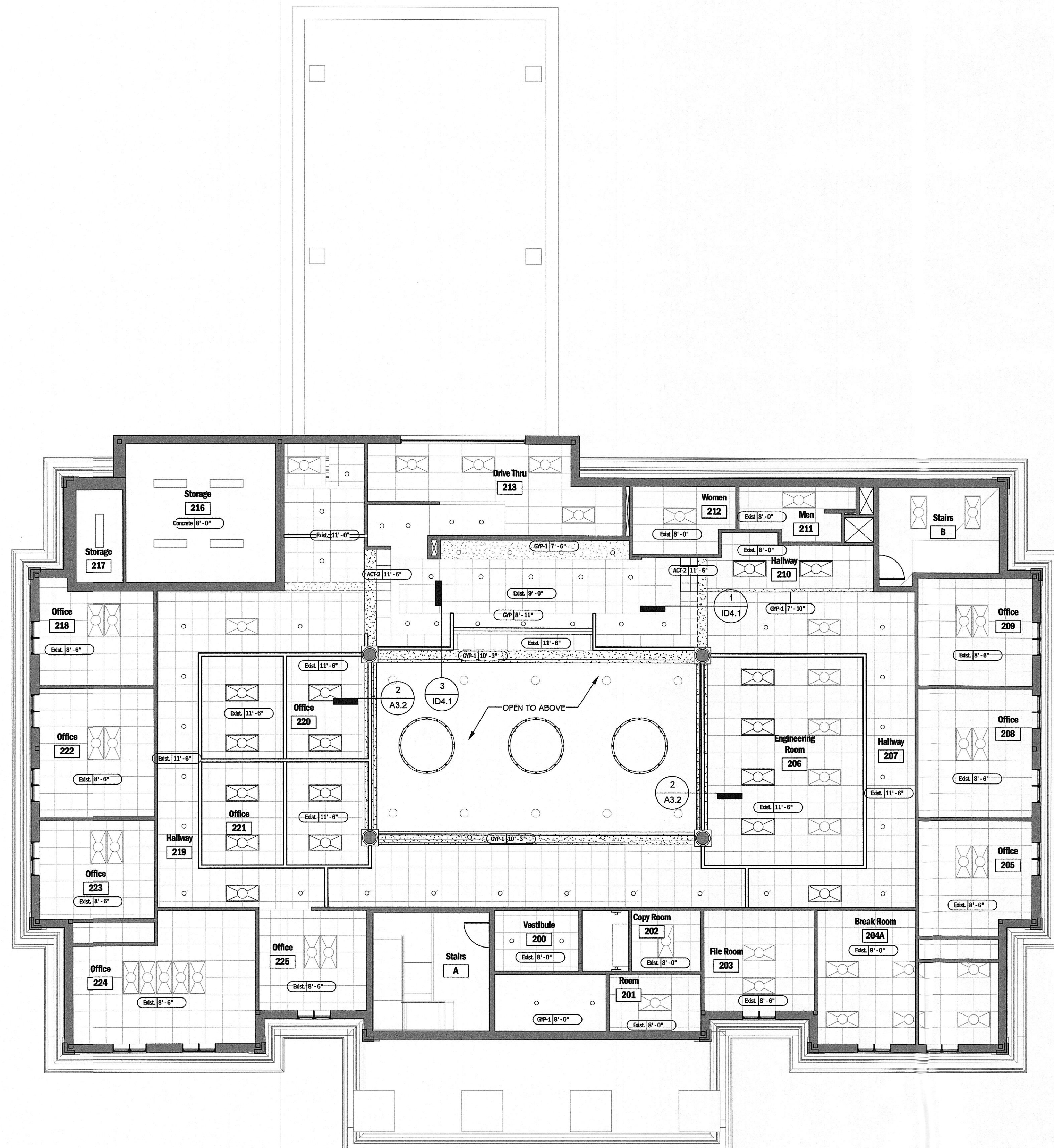
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Reflected Ceiling Plan - Basement

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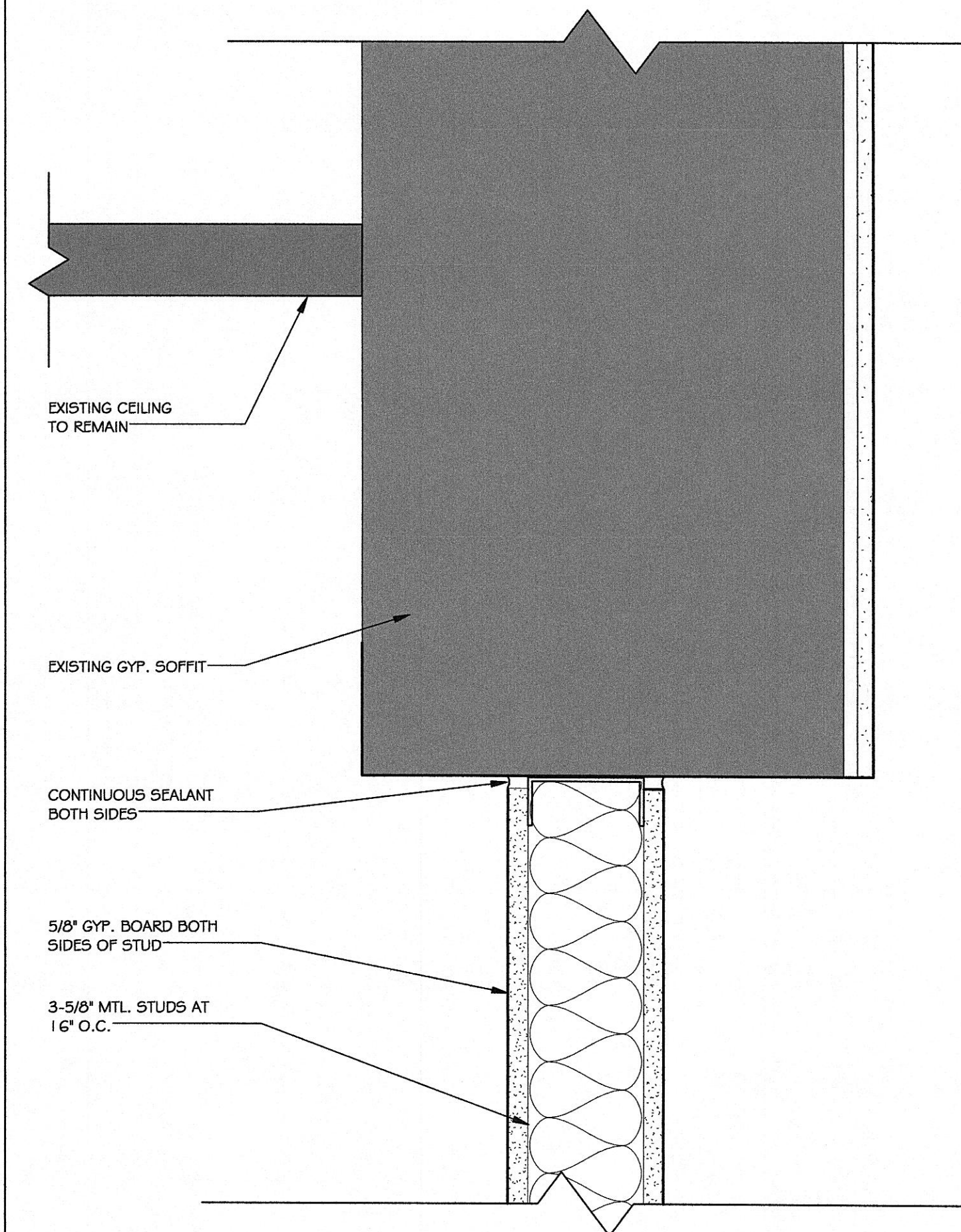
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3 Floor Plan - Main Floor
1/8" = 1'-0"



2 Existing Soffit Detail
3/4" = 1'-0"

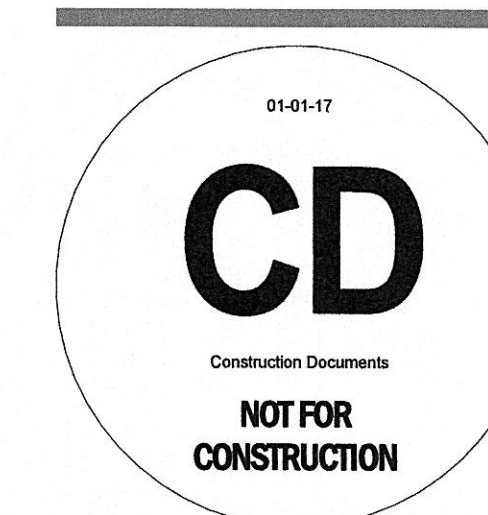
- GYPSUM BOARD CEILING
- 2X2' CEILING TILE
- EXISTING 2X2' CEILING TILE
- NEW / RELOCATED 2X4' FLUORESCENT RECESSED TROFFER
-
- EXISTING FLUORESCENT TROFFER
- EXISTING FLUORESCENT SURFACE MOUNTED
- EXISTING DOWNLIGHT
- ACCENT PENDANT SEE SCHEDULE
- ACCENT PENDANT SEE SCHEDULE

1 Reflected Ceiling Plan Legend
3/4\"/>



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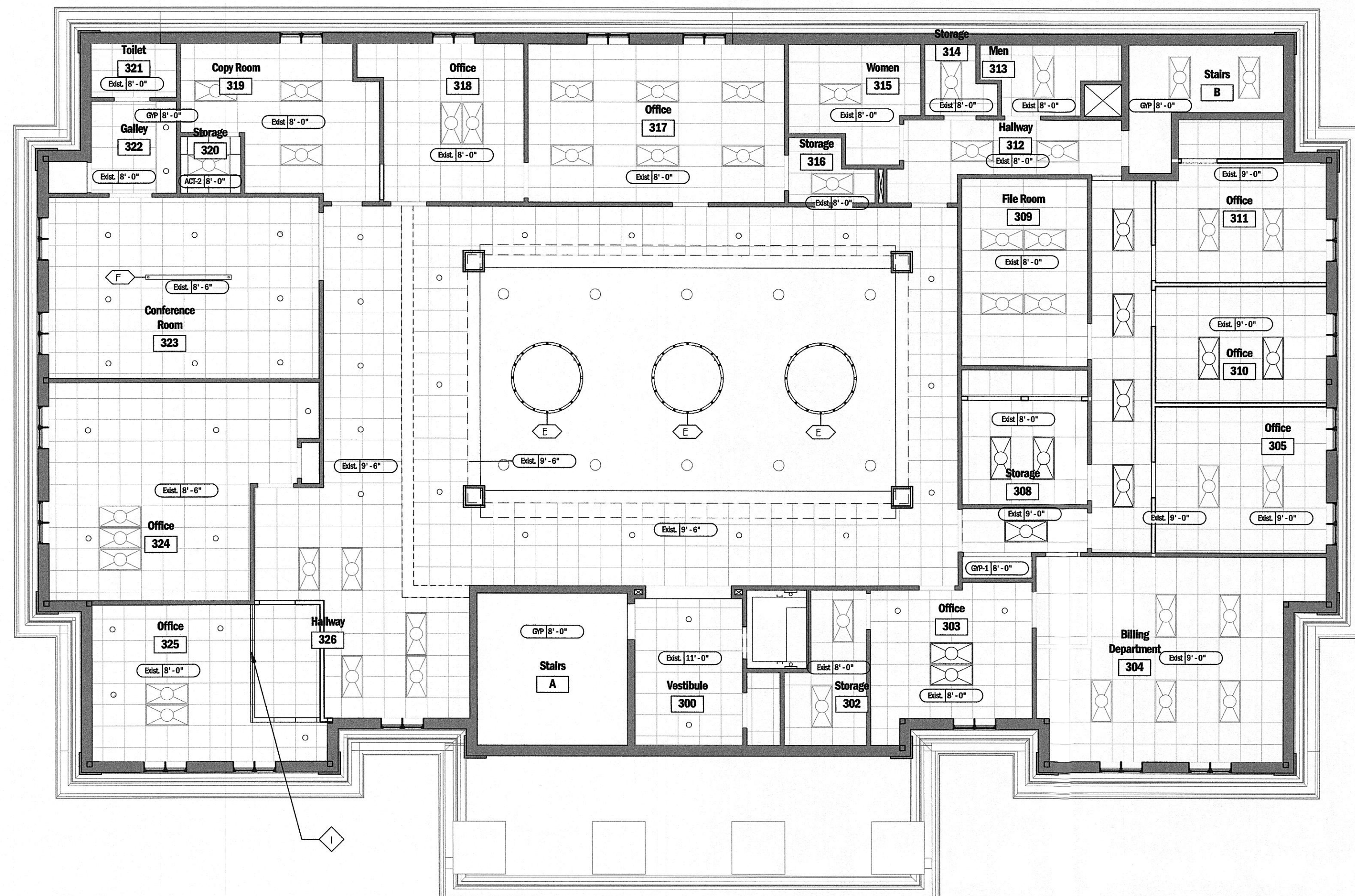
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Reflected Ceiling Plan - Main Floor

Sheet No:

A3.2

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Lighting Fixture Schedule				
Type Mark	Temperature	Description	Manufacturer	Model
E	3000 K	Halo - Quick Ship	Barbican	OJ-O14QS
F	3000 K	Avenue	Barbican	IG

2 Lighting Schedule

ALIGN AND PATCH TO MATCH

2 Not Used

- GYPSUM BOARD CEILING
- 2X2' CEILING TILE
- EXISTING 2X2' CEILING TILE
- NEW / RELOCATED 2X4' FLUORESCENT RECESSED TROFFER
- NEW / RELOCATED 6" OPEN DOWNLIGHT
- EXISTING FLUORESCENT TROFFER
- EXISTING FLUORESCENT SURFACE MOUNTED
- EXISTING DOWNLIGHT
- ACCENT PENDANT SEE SCHEDULE
- ACCENT PENDANT SEE SCHEDULE

1 Reflected Ceiling Plan Legend

3/1 6" = 1'-0"

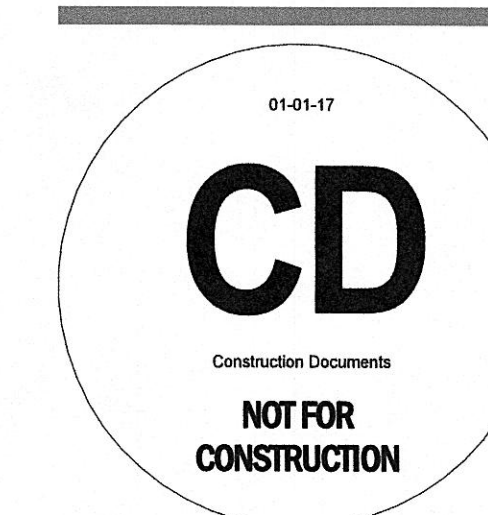
3 Floor Plan - Second Floor

1/8" = 1'-0"



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Checked By: Checker

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Sheet Title:
Reflected Ceiling Plan - Second Floor

Sheet No:

A3.3



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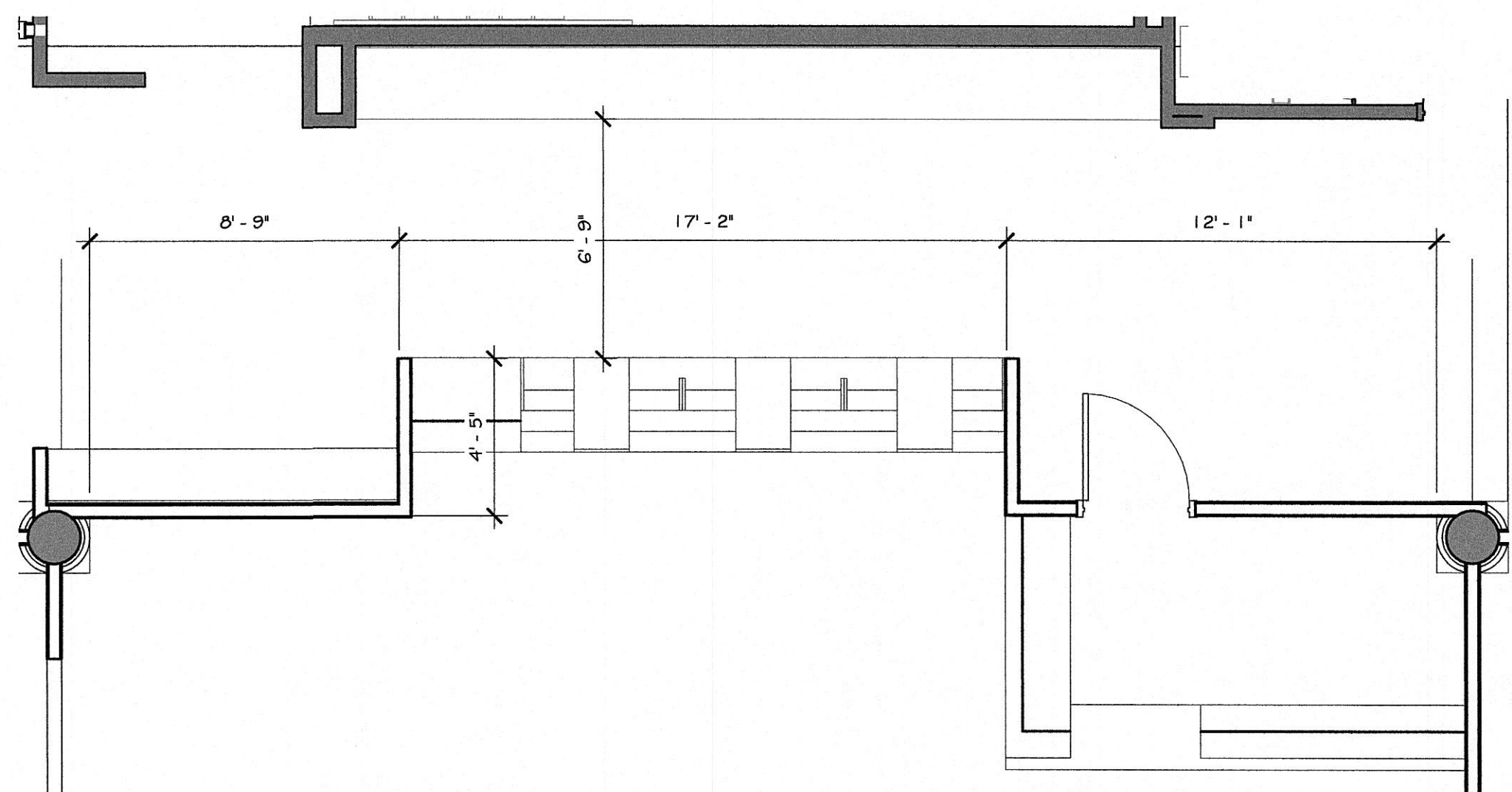
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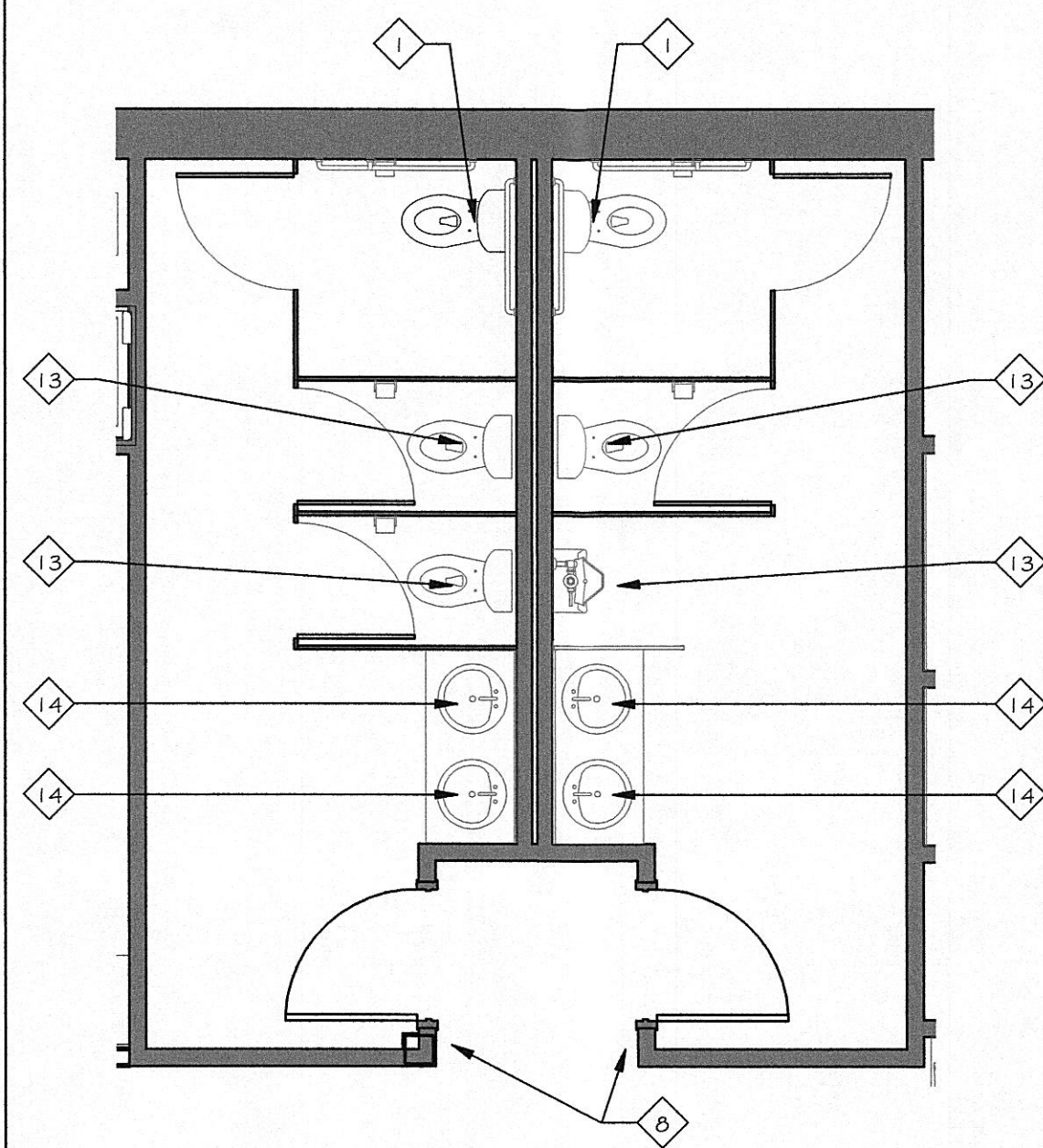
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Enlarged Floor Plans

Sheet No:

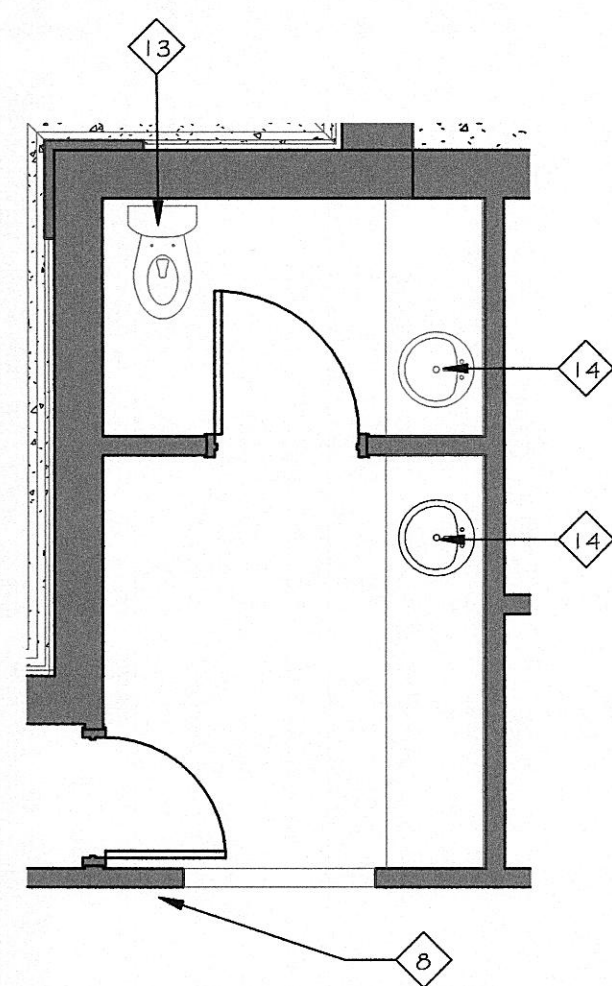
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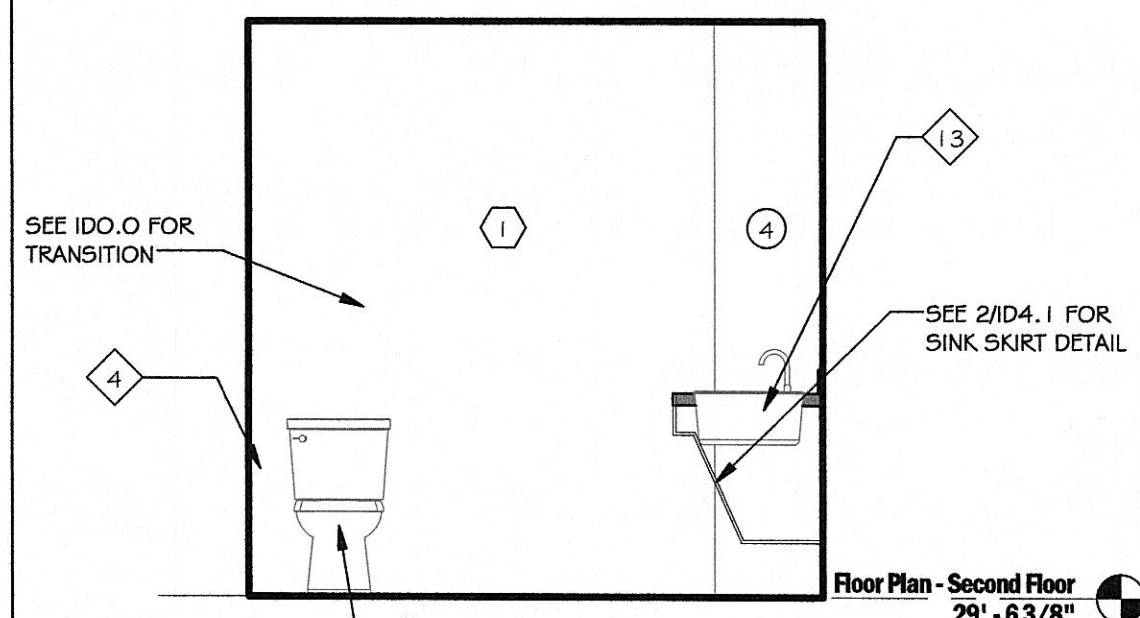
10 Enlarged Floor Plan - Front Desk
1/4" = 1'-0"



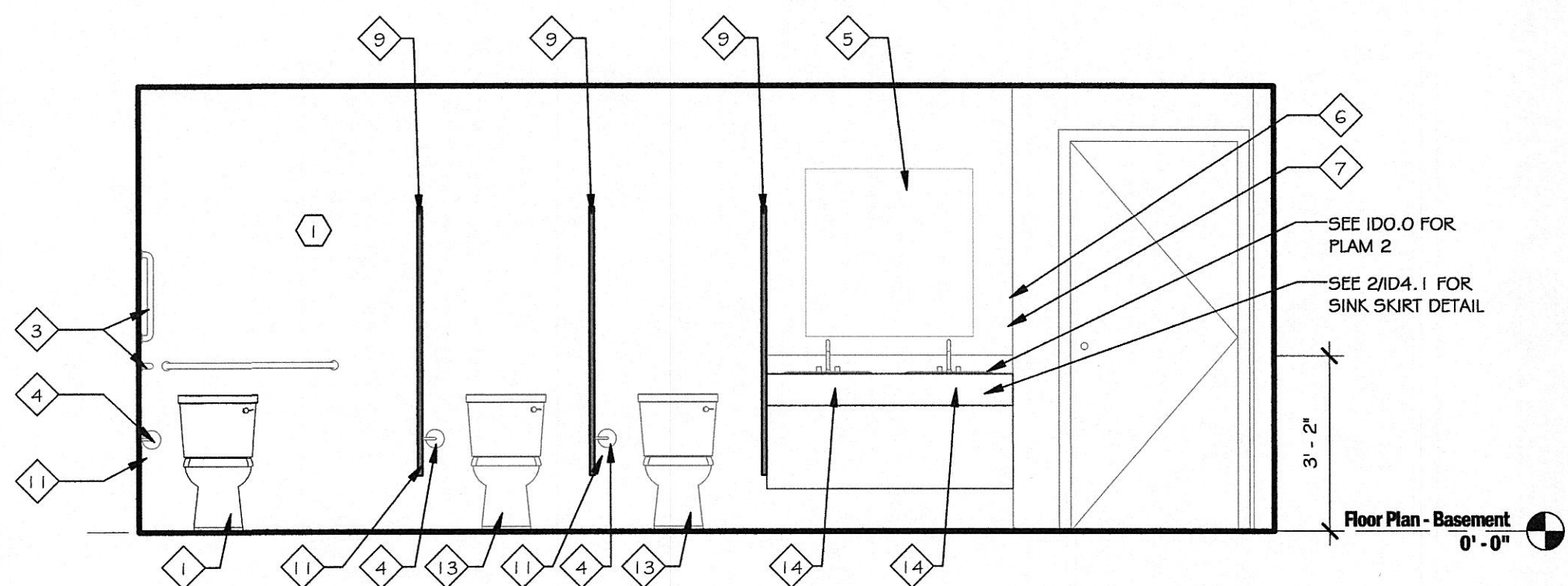
7 Enlarge Plan of Basement Bathrooms
1/4" = 1'-0"



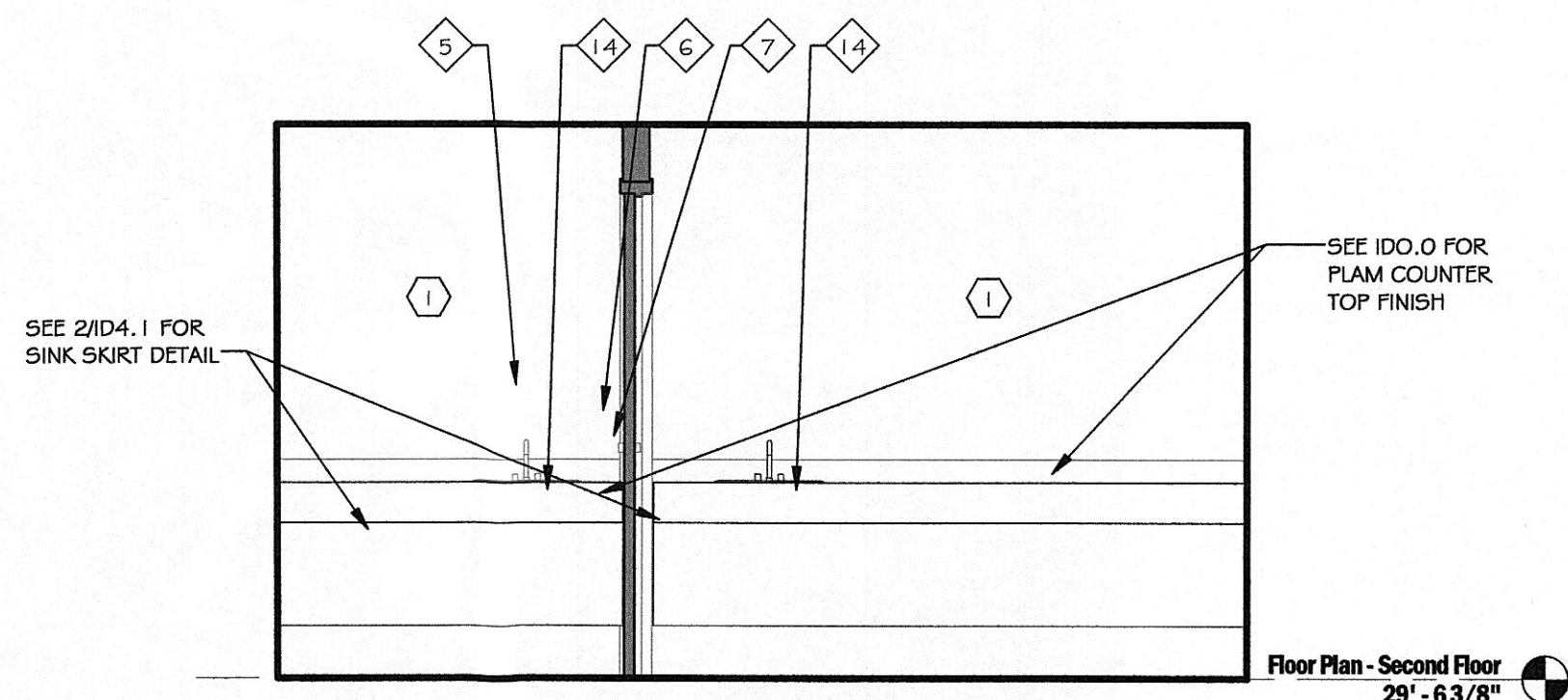
6 Enlarge Plan of Private Bathroom 2nd Flr
1/4" = 1'-0"



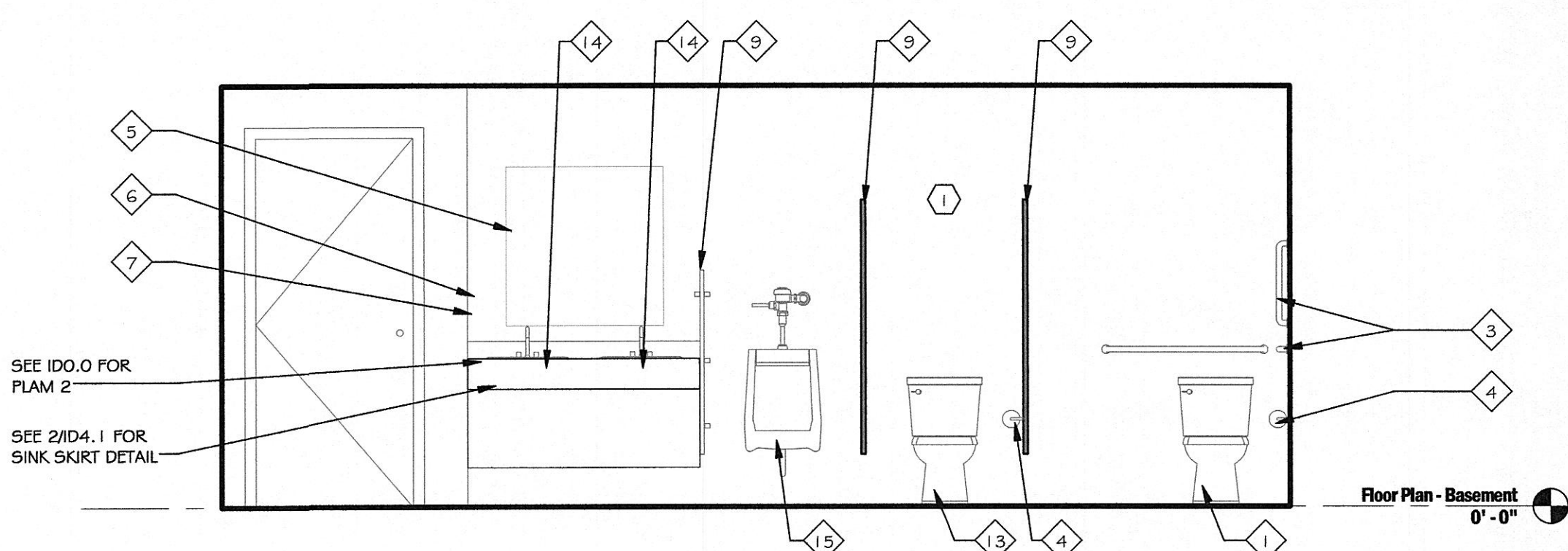
3 Elevation of Private Bathroom - Second Floor
3/8" = 1'-0"



9 Elevation 5 - a
3/8" = 1'-0"



5 Elevation of Private Bathroom & Galley on Second Floor
3/8" = 1'-0"



8 Elevation 4 - a
3/8" = 1'-0"

4 Plumbing Fixture Schedule
NTS

SYM.	TYPE	MFR. # MODEL	SIZE	H.W.	C.W.	WASTE	P-TRAP	DESCRIPTION
P1	WATER CLOSET	ZURN ONE 25655.001.01.03.00 (FLOOR TYPE VALUE)	-	-	1"	4"	-	1.6 GPF FLOOR MOUNT TOPSPUD FLUSHVALVE TOILET; AV DIAPHRAGM SWEAT SOLDER KIT, CAST WALL FLANGE, VANDAL PROOF STOP CAP COVER, ELONGATED, STANDARD WHITE, OPEN FRONT TOILET SEAT, LESS COVER WITH STAINLESS STEEL CHECK HINGE, Z5972 CLOSET BOLT/WAX RING KIT
P2	WATER CLOSET (HANDICAP)	ZURN ONE 25665.001.01.03.00 (FLOOR TYPE VALUE)	-	-	1"	4"	-	1.6 GPF ADA HEIGHT FLOOR MOUNT TOPSPUD FLUSHVALVE TOILET; AV DIAPHRAGM, SWEAT SOLDER KIT, CAST WALL FLANGE, VANDAL PROOF STOP CAP COVER, ELONGATED, STANDARD WHITE, OPEN FRONT TOILET SEAT, LESS COVER WITH STAINLESS STEEL CHECK HINGE, Z5972 CLOSET BOLT/WAX RING KIT
P3	URINAL	ZURN ONE 25750.095.07 (WALL HUNG)	-	3/4"	2"	-	-	1.0 GPF TOPSPUD WASHOUT URINAL, AV DIAPHRAGM 3/4" TOPSPUD, WITH VANDAL PROOF COVER, SWEAT SOLDER KIT, CAST WALL FLANGE, FLANGE AND STRAINER WITH ZURN Z1222 CARRIER
P4	LAVATORY (HANDICAP)	ZURN ONE Z5114.426.1.07.C8.5 (SELF RIMMING)	20"x17"	1/2"	1/2"	1 1/2"	1 1/4"	4" CENTER SET COUNTERTOP LAVATORY, Z81000 SINGLE CONTROL FAUCET WITH 4" COVER PLATE, 0.5 GPM VANDAL RESISTANT AERATOR, GRID DRAIN, 1 1/4" CAST BRASS P-TRAP W/ CLEANOUT, STANDARD STOP SUPPLY KIT CONNECTIONS 1/2" NOM X 3/8" OD) W/ BRAIDED STAINLESS STEEL SUPPLIES

- WATER CLOSET (ETR)
- WASHBASIN (ETR). INSULATE ALL WATER PIPES AS REQ'D
- GRAB BAR, 1 1/2" DIA. REFER TO ELEVATIONS AND NOTES THIS SHEET FOR LENGTH. INSTALLATION MUST COMPLY WITH ALL STATE AND LOCAL CODES. SEE NOTE 6. (ETR)
- ROLL-TYPE TOILET PAPER DISPENSER, OUTLET AT 15" MIN, TOP AT 1 1/2" MIN TO GRAB BAR. SEE NOTE 6. (ETR)
- MIRROR MOUNTED 40" AFF. MAX. SEE TOILET ELEVATIONS FOR MORE INFORMATION. (ETR)
- SOAP DISPENSER, OUTLET AT 48" MAX AFF SEE NOTE 6. (ETR)
- PAPER TOWEL DISPENSER, OUTLET AT 48" MAX AFF SEE NOTE 6. (ETR)
- SIGNAGE, MOUNT PER ACCESSIBILITY REQUIREMENTS. (ETR)
- TOILET PARTITION (ETR)
- URINAL (ETR). INSULATE ALL WATER PIPES AS REQ'D
- FEMININE HYGIENINE DISPOSAL. (ETR)
- OWNER PROVIDED TRASH CAN
- WATER CLOSET TO REPLACE
- WASHBASIN TO REPLACE. INSULATE ALL WATER PIPES AS REQ'D
- URINAL TO REPLACE. INSULATE ALL WATER PIPES AS REQ'D

2 Restroom Accessory Keyed Notes
NTS

- GENERAL CONTRACTOR TO PROVIDE AND INSTALL HANDICAP EQUIPMENT AS NEEDED TO COMPLY WITH GOVERNING CODES.
- GENERAL CONTRACTOR TO PROVIDE SOLID IN-WALL FIRE-TREATED BLOCKING FOR ALL WALL-MOUNTED ITEMS.
- SEE PLUMBING SHEETS FOR FIXTURES AND SPECIFICATIONS.
- GRAB BAR FASTENERS AND MOUNTING SUPPORT SHALL BE ABLE TO WITHSTAND 250 lbs. POINT LOAD BEARING SHEAR AND TORSION.
- ALL TRENCHES TO BE BACKFILLED AND COMPACTED TO MINIMUM 95% WITH WATERPROOF MEMBRANE BELOW CONCRETE. DOWELS SHALL BE #4 BARS, EPOXY INTO EXISTING CONCRETE SLAB.
- ALL RESTROOM ACCESSORIES (TOILET PAPER, PAPER TOWEL, AND SOAP DISPENSERS OR OTHER SIMILAR ITEMS) SHALL MATCH IN FINISH, AND BE SIMILAR TO LAVATORY HARDWARE WHERE POSSIBLE, TYP.
- PER ANSI 117.1 SECTION 603.2.3, EXCEPTION 2 DOOR SWING MAY OVERLAP FLOOR SPACE.
- ALL WALLS TO RECEIVE MOISTURE RESISTANT GYP BD.

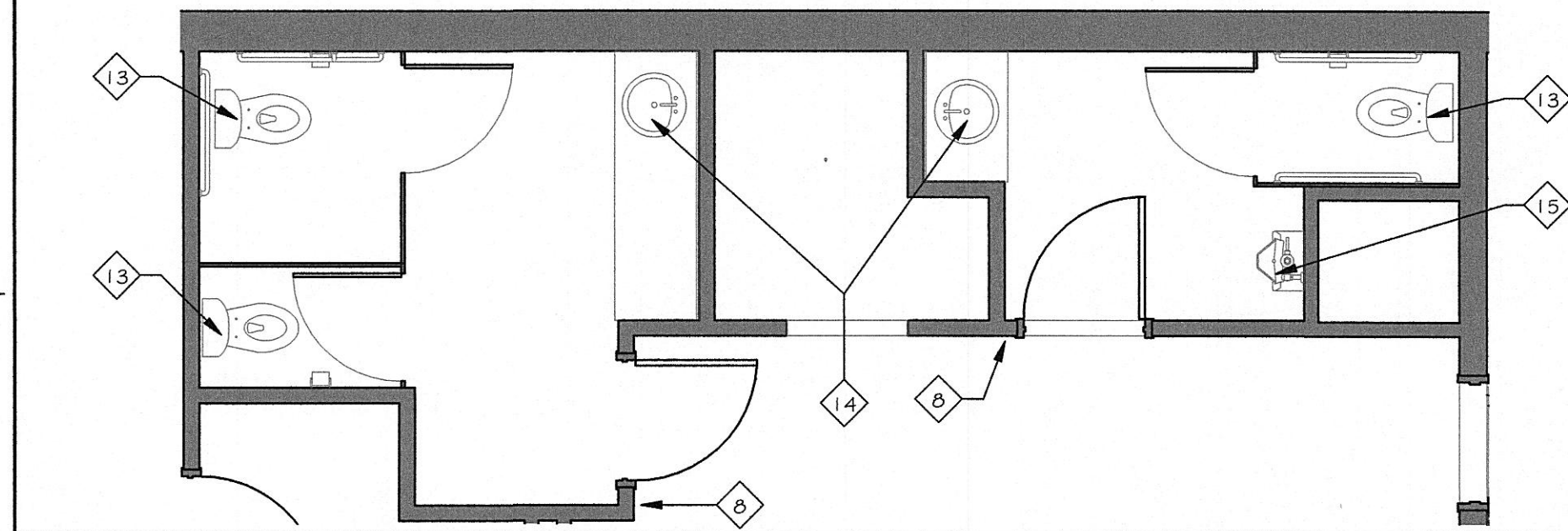
1 Restroom General Notes
NTS

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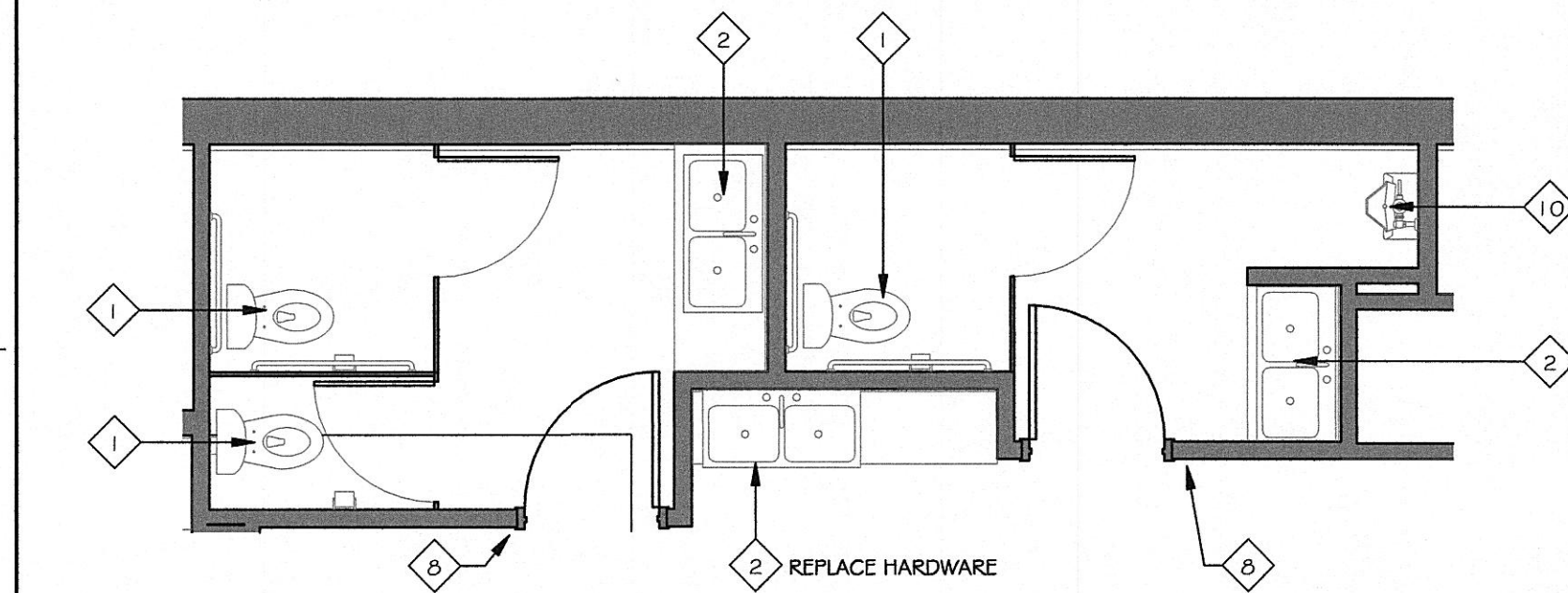
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User: T.Johnston
File: C:\Work Local Files\17155.00_Hamman Utilities Board_Model01.dwg



11 Enlarge Plan of Second Level Bathrooms
1/4" = 1'-0"



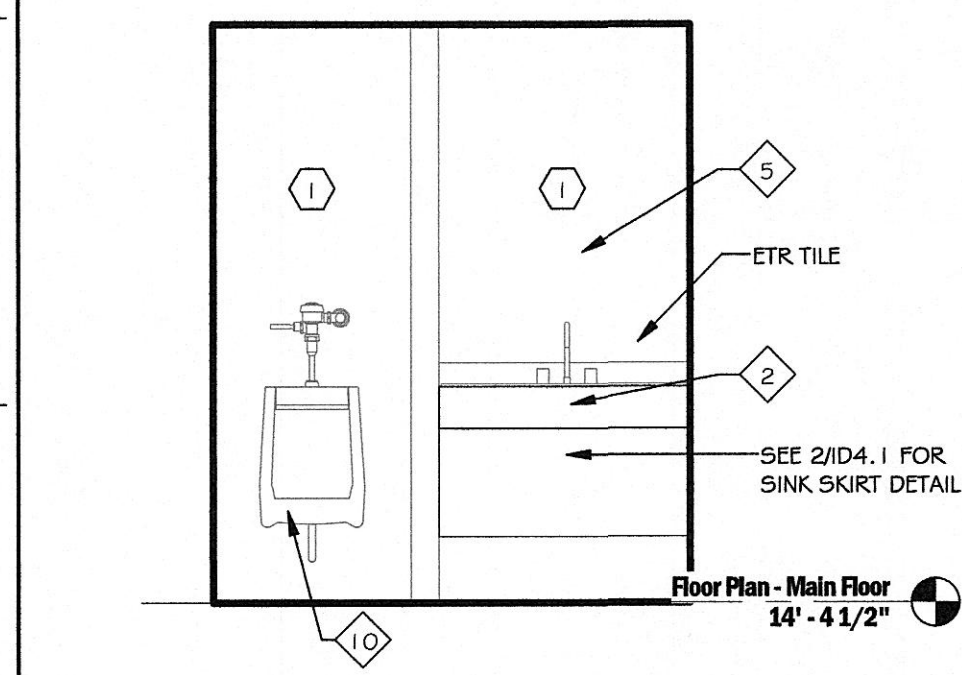
10 Enlarge Plan of First Floor Bathrooms
1/4" = 1'-0"

- 1 WATER CLOSET (ETR)
2 WASHBASIN (ETR). INSULATE ALL WATER PIPES AS REQ'D
3 GRAB BAR, 1 1/2" DIA. REFER TO ELEVATIONS AND NOTES THIS SHEET FOR LENGTH. INSTALLATION MUST COMPLY WITH ALL STATE AND LOCAL CODES. SEE NOTE 6. (ETR)
4 ROLL-TYPE TOILET PAPER DISPENSER, OUTLET AT 15" MIN, TOP AT 1 1/2" MIN TO GRAB BAR. SEE NOTE 6. (ETR)
5 MIRROR MOUNTED 40" AFF. MAX. SEE TOILET ELEVATIONS FOR MORE INFORMATION. (ETR)
6 SOAP DISPENSER, OUTLET AT 48" MAX AFF SEE NOTE 6. (ETR)
7 PAPER TOWEL DISPENSER, OUTLET AT 48" MAX AFF SEE NOTE 6. (ETR)
8 SIGNAGE, MOUNT PER ACCESSIBILITY REQUIREMENTS. (ETR)
9 TOILET PARTITION (ETR)
10 URINAL (ETR). INSULATE ALL WATER PIPES AS REQ'D
11 FEMININE HYGIENIC DISPOSAL. (ETR)
12 OWNER PROVIDED TRASH CAN
13 WATER CLOSET TO REPLACE
14 WASHBASIN TO REPLACE. INSULATE ALL WATER PIPES AS REQ'D
15 URINAL TO REPLACE. INSULATE ALL WATER PIPES AS REQ'D

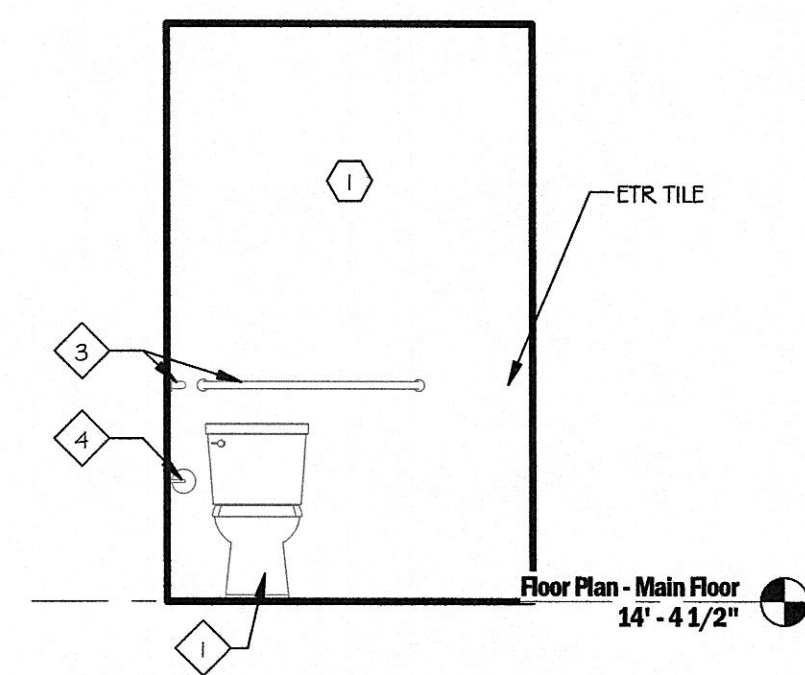
6 Restroom Accessory Keyed Notes
NTS

1. GENERAL CONTRACTOR TO PROVIDE AND INSTALL HANDICAP EQUIPMENT AS NEEDED TO COMPLY WITH GOVERNING CODES.
2. GENERAL CONTRACTOR TO PROVIDE SOLID IN-WALL FIRE-TREATED BLOCKING FOR ALL WALL-MOUNTED ITEMS.
3. SEE PLUMBING SHEETS FOR FIXTURES AND SPECIFICATIONS.
4. GRAB BAR FASTENERS AND MOUNTING SUPPORT SHALL BE ABLE TO WITHSTAND 250 lbs. POINT LOAD BEARING SHEAR AND TORSION.
5. ALL TRENCHES TO BE BACKFILLED AND COMPACTED TO MINIMUM 95% WITH WATERPROOF MEMBRANE BELOW CONCRETE. DOWELS SHALL BE #4 BARS, EPOXY INTO EXISTING CONCRETE SLAB.
6. ALL RESTROOM ACCESSORIES (TOILET PAPER, PAPER TOWEL, AND SOAP DISPENSERS OR OTHER SIMILAR ITEMS) SHALL MATCH IN FINISH, AND BE SIMILAR TO LAVATORY HARDWARE WHERE POSSIBLE, TYP.
7. PER ANSI 117.1 SECTION 603.2.3, EXCEPTION 2 DOOR SWING MAY OVERLAP FLOOR SPACE.
8. ALL WALLS TO RECEIVE MOISTURE RESISTANT GYP BD.

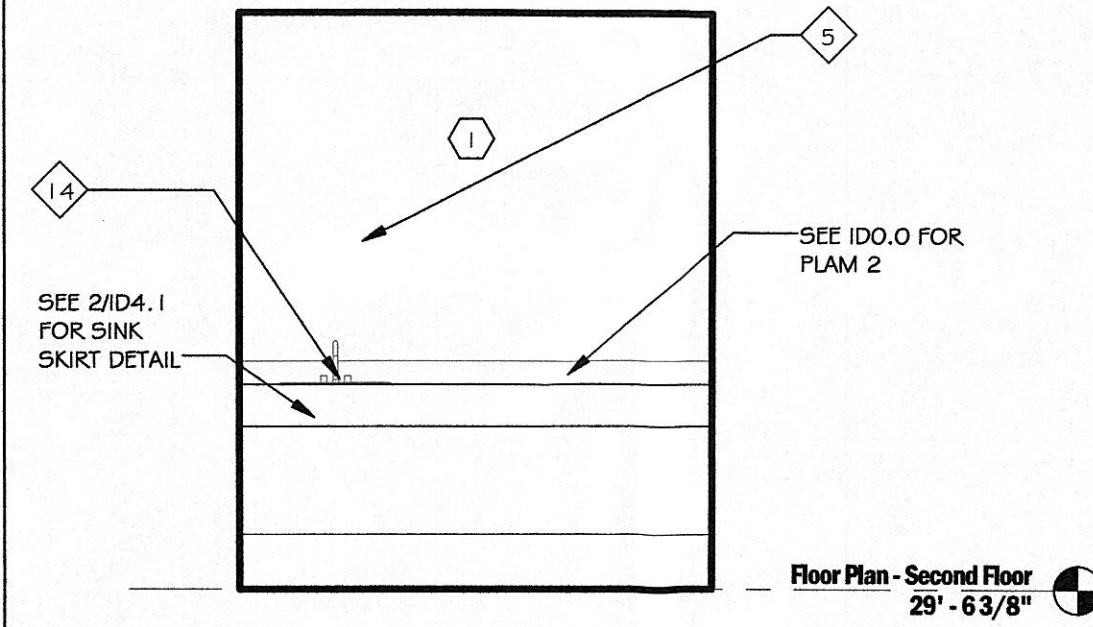
3 Restroom General Notes
NTS



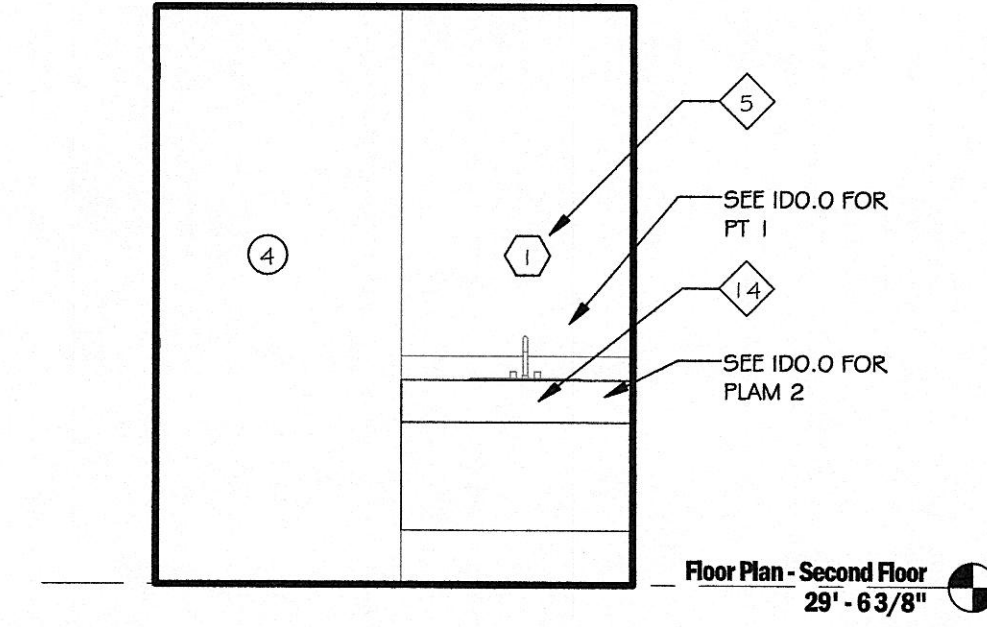
9 Elevation of First Floor Men's Bathroom Sink
3/8" = 1'-0"



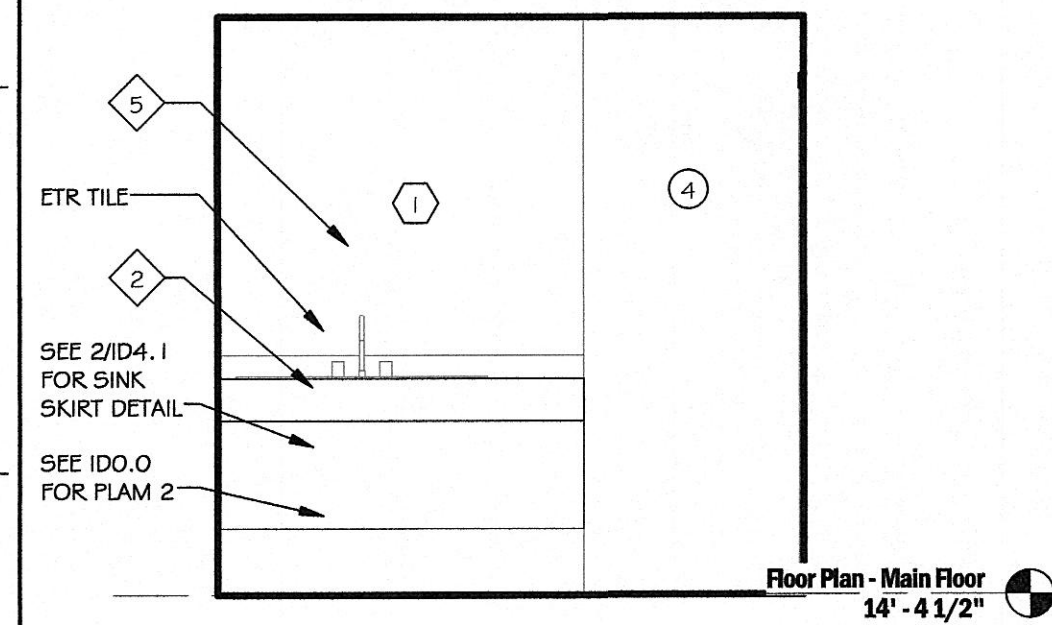
7 Elevation of First Floor Men's Bathroom
3/8" = 1'-0"



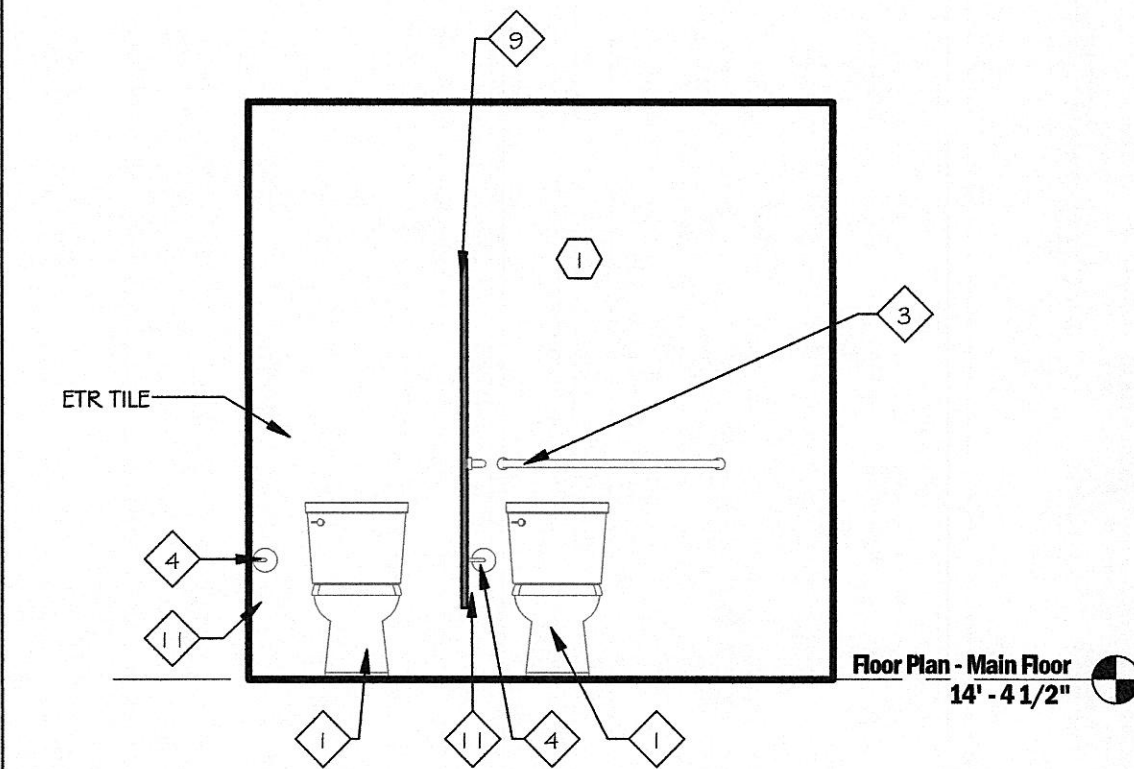
5 Elevation of Second Floor Womens Bathroom Sink
3/8" = 1'-0"



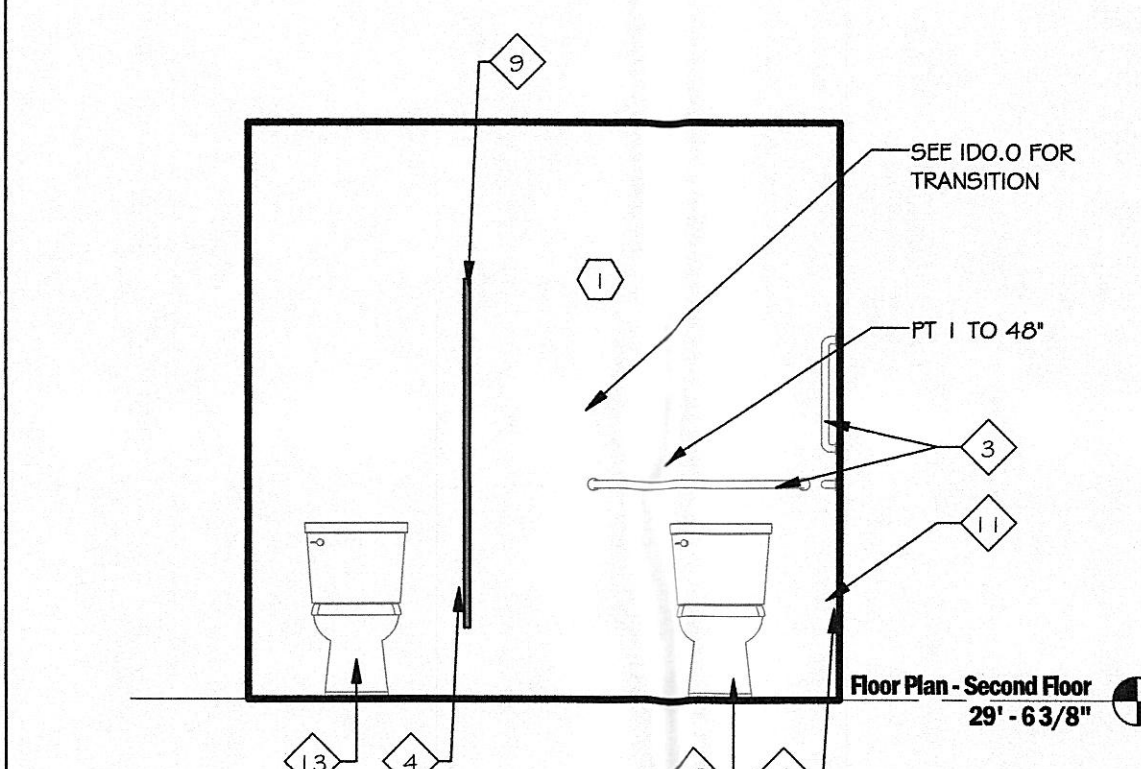
2 Elevation of Second Floor Mens Bathroom Sink
3/8" = 1'-0"



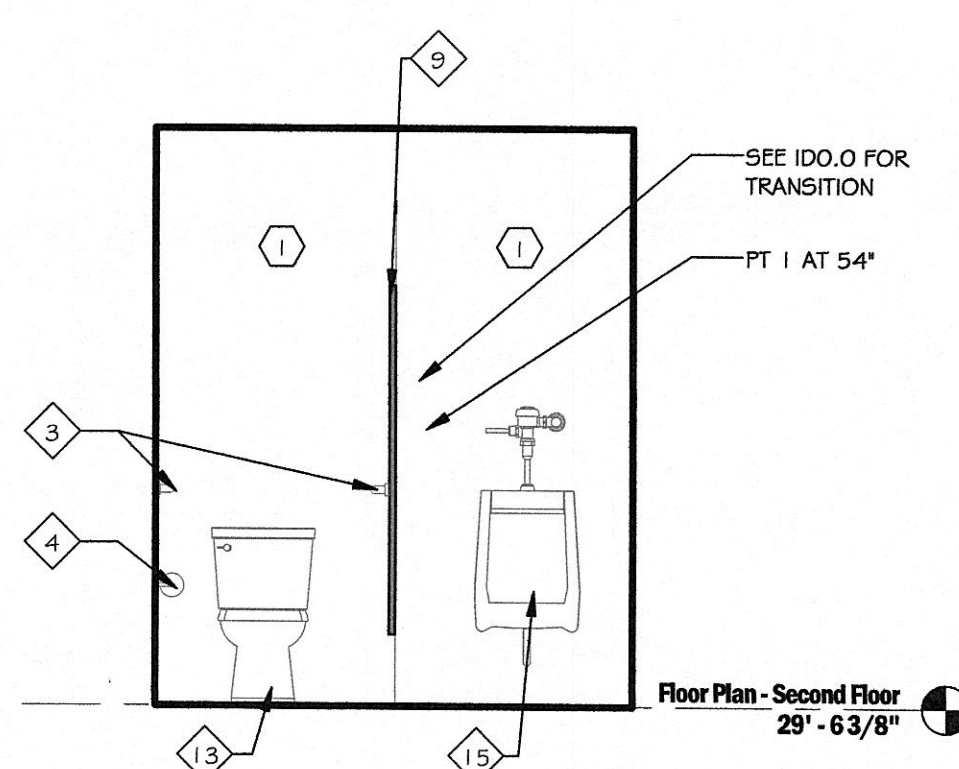
8 Elevation of First Floor Women's Bathroom Sink
3/8" = 1'-0"



6 Elevation of First Floor Women's Bathroom
3/8" = 1'-0"



4 Elevation of Second Floor Womens Bathroom
3/8" = 1'-0"



1 Elevation of Second Floor Mens Bathroom
3/8" = 1'-0"



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Project Name:
Hamman Utility Board
300 N. Roane Street
Hamman, TN 37748

Project Number: 17155.00
Date: 07.13.18
Drawn By: T.Johnston
Checked By: K.Moran

Drawing Issued For:
☐ Schematic Design
☐ Design Development
☒ Construction

Revisions:
No. Date Description

Sheet Title:
Enlarged Floor Plans

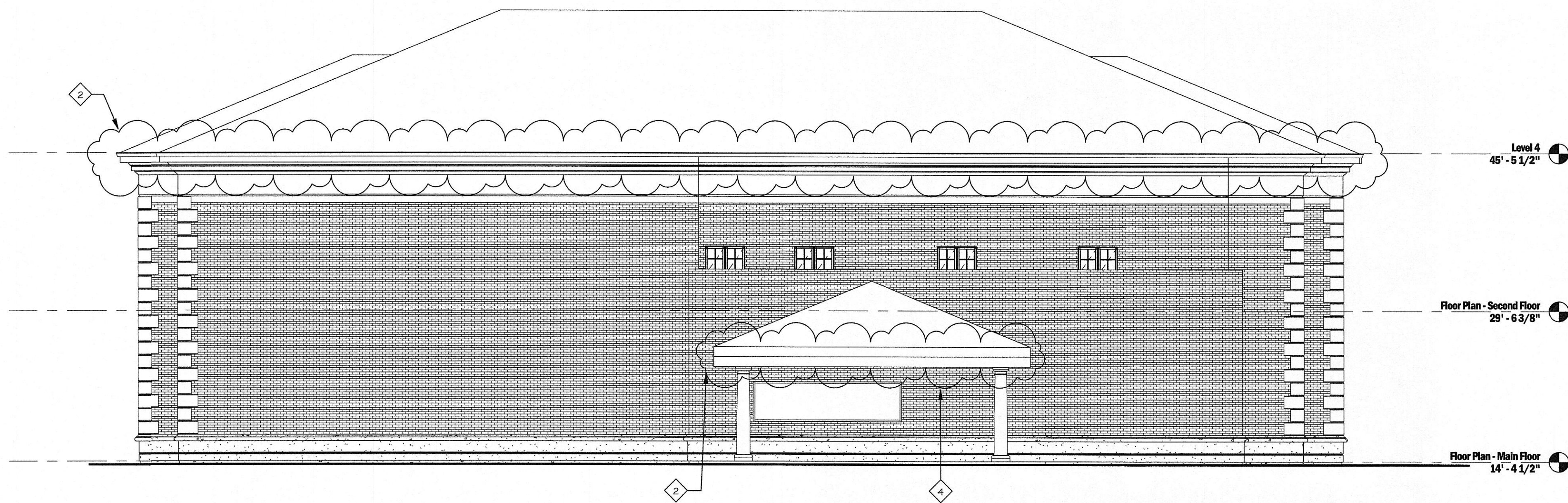
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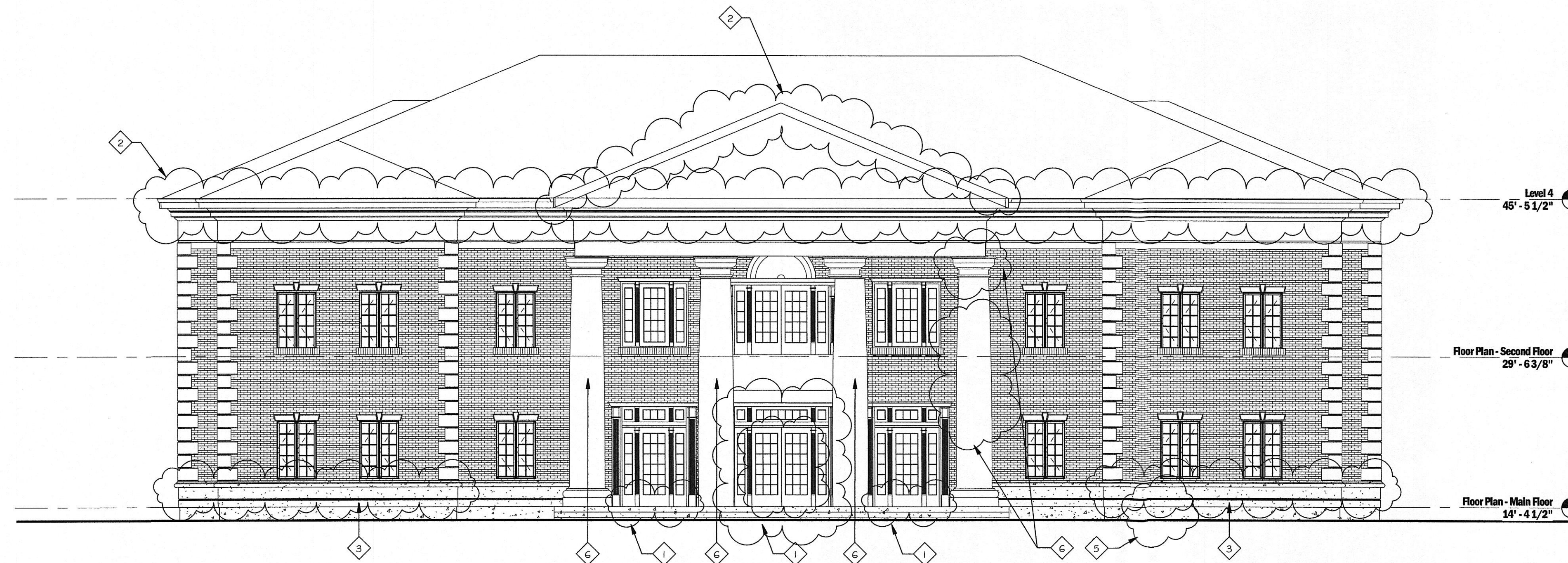
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3 Building Elevation - South East
1/8" = 1'-0"



2 Building Elevation - North West
1/8" = 1'-0"



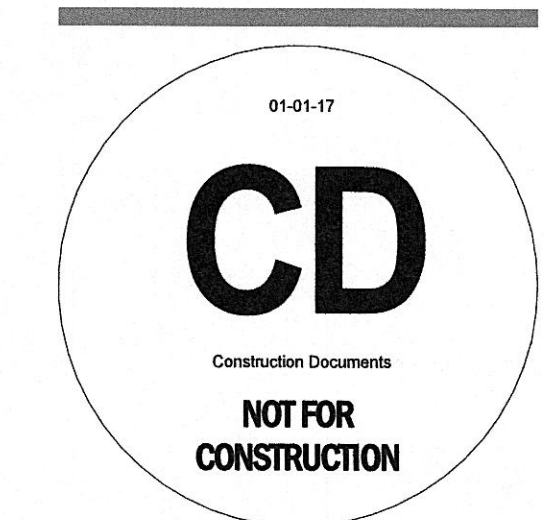
1 Building Elevations Legend
NTS

- 1 REPAIR WOOD TRIM AT DOORS & WINDOWS. PAINT TO MATCH EXISTING ADJACENT DOOR TRIM.
- 2 CLEAN & REPAIR ALL CORNICE LOCATIONS. PAINT AS REQUIRED TO MATCH EXISTING.
- 3 CLEAN WATERTABLE & REPAIR AS REQUIRED
- 4 REPAIR UNDERSIDE OF DRIVE-THRU CANOPY. PAINT TO MATCH EXISTING.
- 5 REPAIR EIFS GOUGES & CRACKS
- 6 REPAIR FINISH ON COLUMN TO PROVIDE SMOOTH FINISH



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Project Name:
Harriman Utility Board
300 N. Roane Street
Harriman, TN 37748

Project Number: 17155.00
Date: 07.13.18
Drawn By: Author
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Drawing Issued For:
☐ Schematic Design
☐ Design Development
☒ Construction

Revisions:
No. Date Description

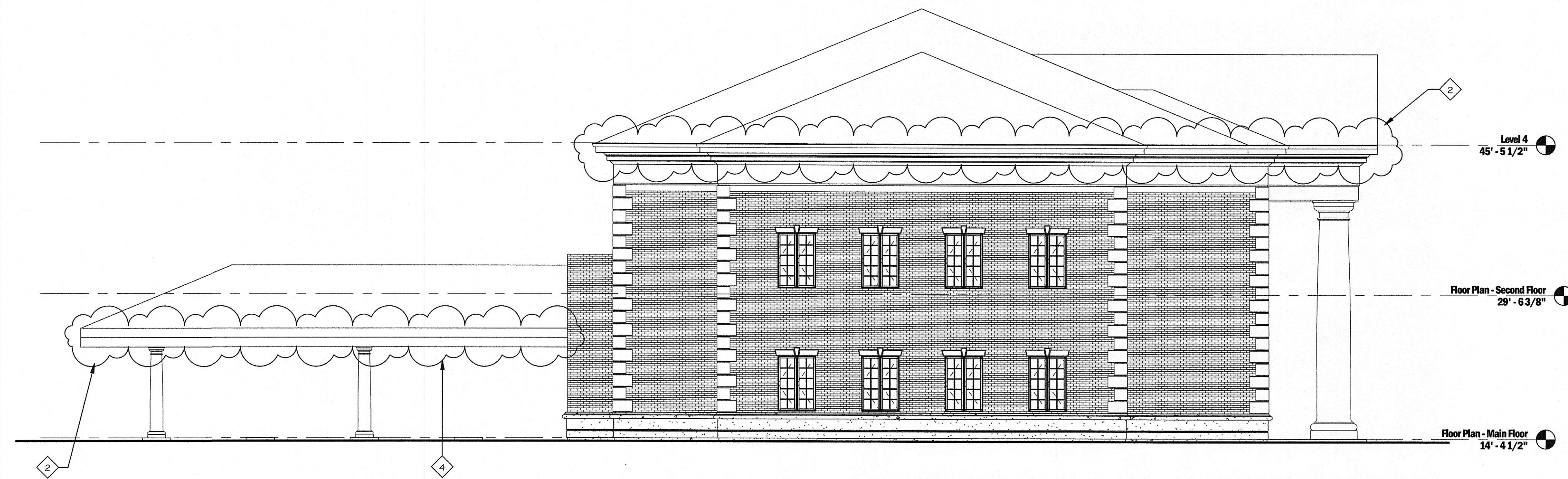
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Sheet No:

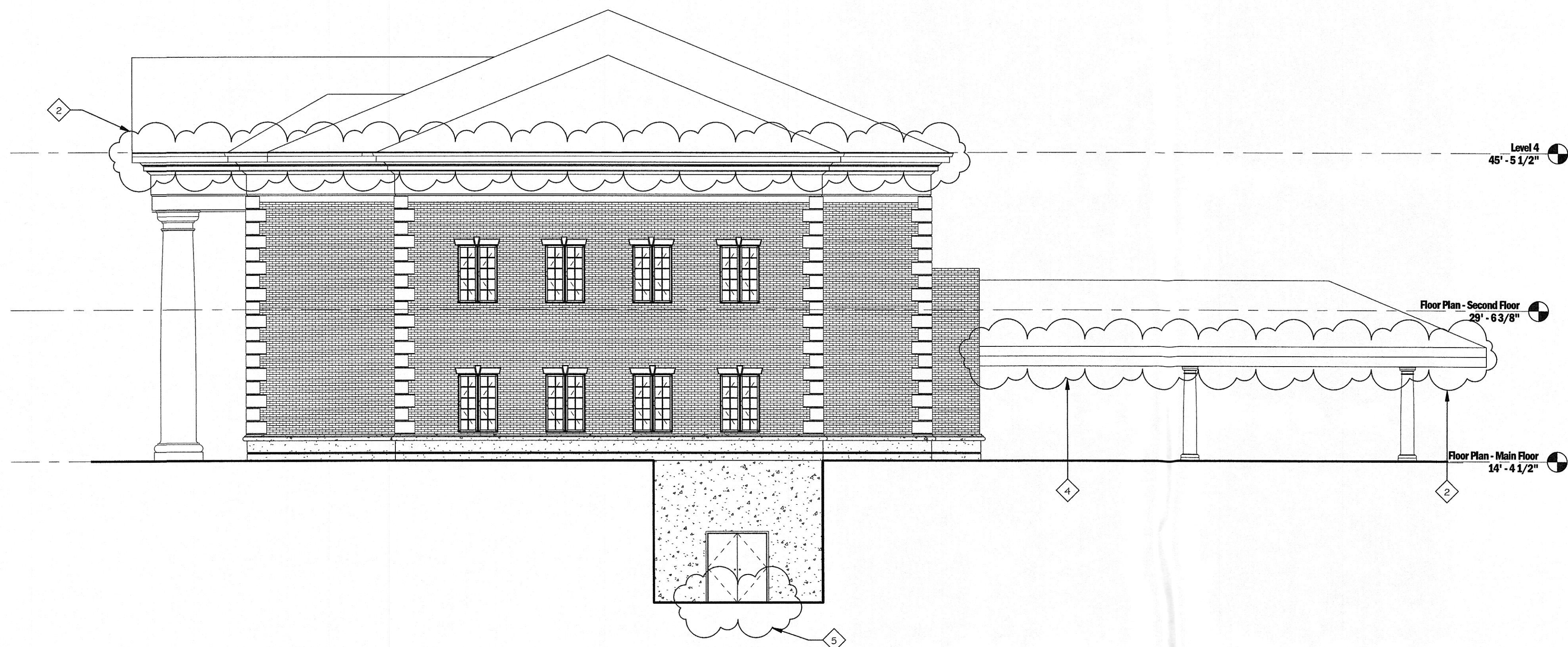
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2 Building Elevation - North East
1/8" = 1'-0"



1 Building Elevation - South West
1/8" = 1'-0"

- 1 REPAIR WOOD TRIM AT DOORS & WINDOWS. PAINT TO MATCH EXISTING ADJACENT DOOR TRIM.
- 2 CLEAN & REPAIR ALL CORNICE LOCATIONS. PAINT AS REQUIRED TO MATCH EXISTING.
- 3 CLEAN WATERTABLE & REPAIR AS REQUIRED
- 4 REPAIR UNDERSIDE OF DRIVE-THRU CANOPY. PAINT TO MATCH EXISTING.
- 5 REPAIR EIFS GOUGES & CRACKS
- 6 REPAIR FINISH ON COLUMN TO PROVIDE SMOOTH FINISH

1 Building Elevations Legend
NTS



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Project Name:
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☐ Schematic Design
☐ Design Development
☒ Construction

Revisions:
No. Date Description

Sheet Title:
Building Elevations

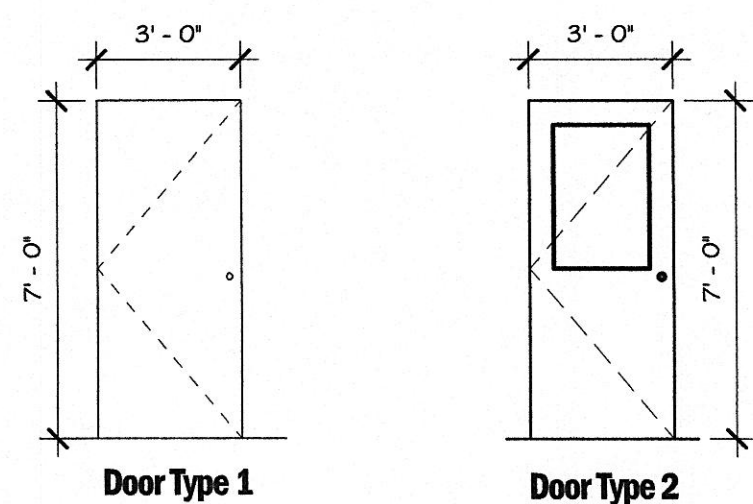
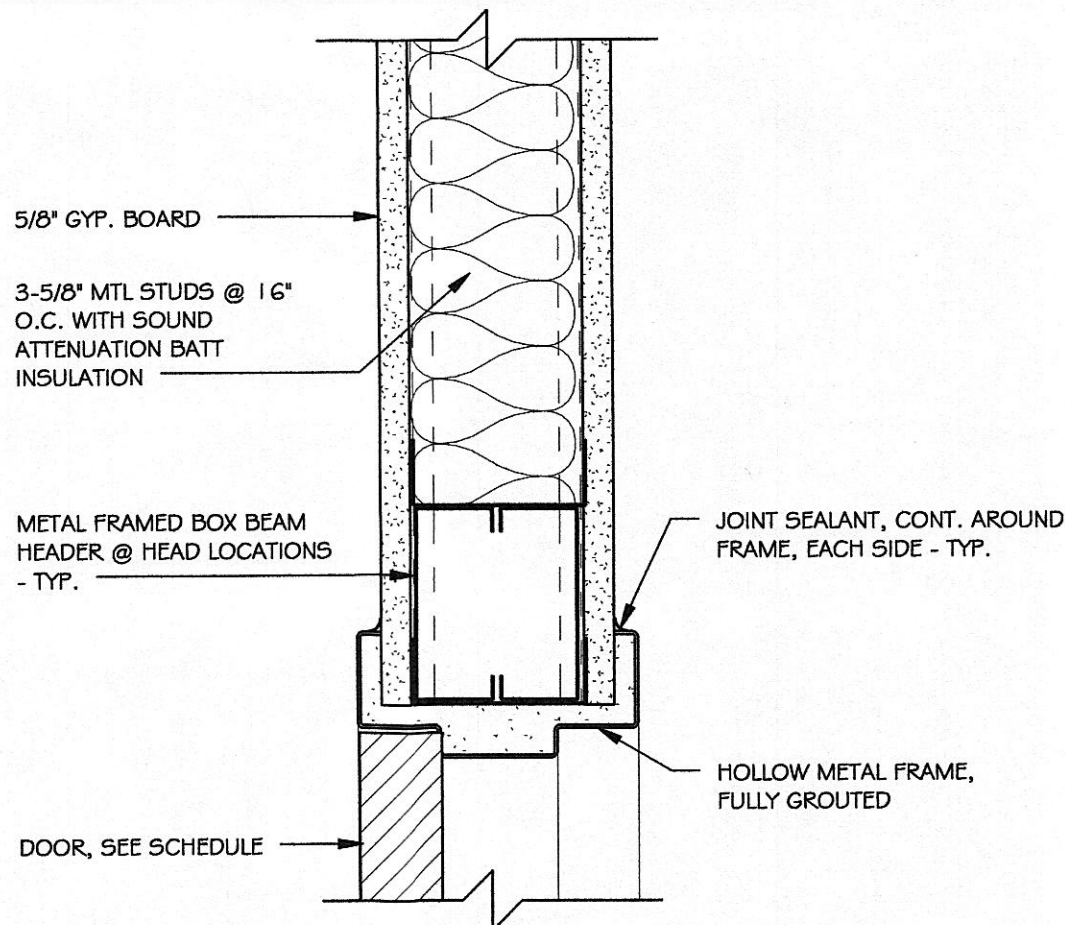
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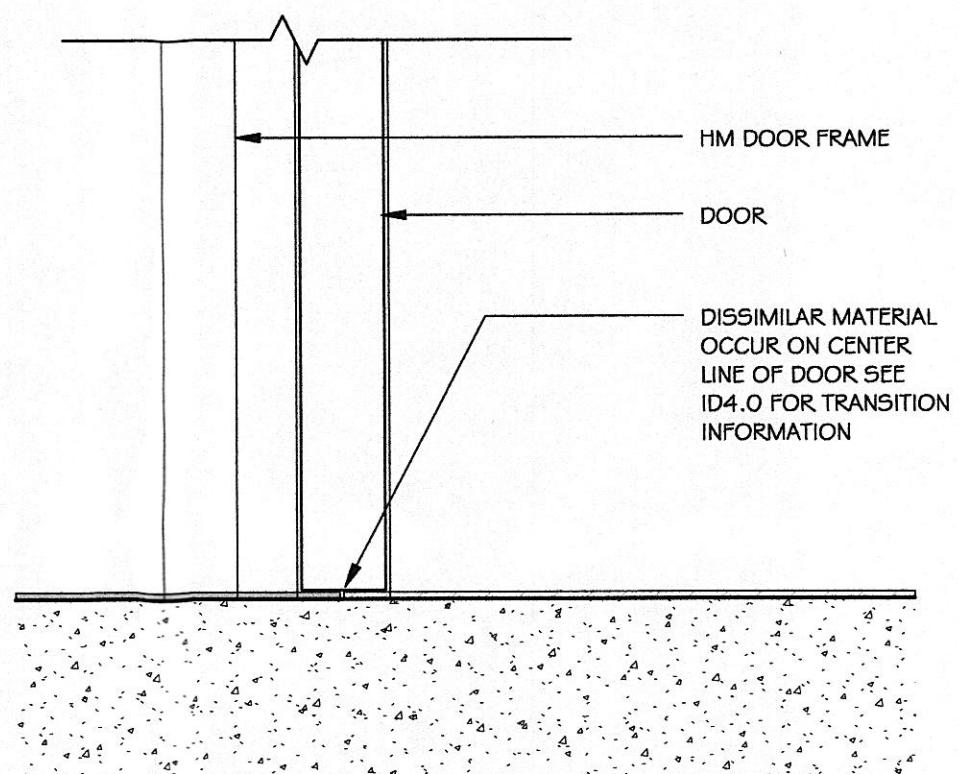
Door Schedule

Door Number		Size			Door Material	Door Type	Leafs	Frames		Frame Material	Frame Type	Details			Hardware	To Room Number	Notes
		Width	Height	Thickness				Rough Width	Rough Height			Head	Jamb	Sill			
103A	3' - 0"	7' - 0"	0' - 1 3/4"	WD	1	1	1	3' - 4"	7' - 2"	HM	1	5/A.B. 1	3/A.B. 1	4/A.B. 1		103	RELOCATED FROM DEMO
103B	6' - 0"	7' - 0"	0' - 1 3/4"	HM	1	2	1	6' - 4"	7' - 2"	HM	1					103	
111	3' - 0"	7' - 0"	0' - 1 3/4"	WD	1	1	1	3' - 4"	7' - 2"	HM	1					111	
117	3' - 0"	7' - 0"	0' - 1 3/4"	WD	2	1	1	3' - 4"	7' - 2"	HM	1					117	
121B	3' - 0"	7' - 0"	0' - 1 3/4"	WD	1	1	1	3' - 4"	7' - 2"	HM	1	5/A.B. 1	3/A.B. 1	4/A.B. 1		122	RELOCATED FROM DEMO
122A	3' - 0"	7' - 0"	0' - 1 3/4"	WD	1	1	1	3' - 4"	7' - 2"	HM	1	5/A.B. 1	3/A.B. 1	4/A.B. 1		123	RELOCATED FROM DEMO
124	3' - 0"	7' - 0"	0' - 1 3/4"	WD	1	1	1	3' - 4"	7' - 2"	HM	1					124	
125	3' - 0"	7' - 0"	0' - 1 3/4"	WD	1	1	1	3' - 4"	7' - 2"	HM	1					125	
127	3' - 0"	7' - 0"	0' - 1 3/4"	WD	1	1	1	3' - 4"	7' - 2"	HM	1					127	
206A	3' - 0"	7' - 0"	0' - 1 3/4"	WD	1	1	1	3' - 4"	7' - 2"	HM	1	5/A.B. 1	3/A.B. 1	4/A.B. 1		206	RELOCATED FROM DEMO
206B	3' - 0"	7' - 0"	0' - 1 3/4"	WD	1	1	1	3' - 4"	7' - 2"	HM	1	5/A.B. 1	3/A.B. 1	4/A.B. 1		206	RELOCATED FROM DEMO
207	3' - 0"	7' - 0"	0' - 1 3/4"	WD	1	1	1	3' - 4"	7' - 2"	HM	1	5/A.B. 1	3/A.B. 1	4/A.B. 1		230	RELOCATED FROM DEMO
220A	3' - 0"	7' - 0"	0' - 1 3/4"	WD	1	1	1	3' - 4"	7' - 2"	HM	1					220	
220B	3' - 0"	7' - 0"	0' - 1 3/4"	WD	1	1	1	3' - 4"	7' - 2"	HM	1	5/A.B. 1	3/A.B. 1	4/A.B. 1		229	RELOCATED FROM DEMO
221A	3' - 0"	7' - 0"	0' - 1 3/4"	WD	1	1	1	3' - 4"	7' - 2"	HM	1	5/A.B. 1	3/A.B. 1	4/A.B. 1		221	RELOCATED FROM DEMO
221B	3' - 0"	7' - 0"	0' - 1 3/4"	WD	1	1	1	3' - 4"	7' - 2"	HM	1	5/A.B. 1	3/A.B. 1	4/A.B. 1		221	RELOCATED FROM DEMO
225A	3' - 0"	7' - 0"	0' - 1 3/4"	WD	1	1	1	3' - 4"	7' - 2"	HM	1	5/A.B. 1	3/A.B. 1	4/A.B. 1		230	RELOCATED FROM DEMO
225	3' - 0"	7' - 0"	0' - 1 3/4"	WD	1	1	1	3' - 4"	7' - 2"	HM	1	5/A.B. 1	3/A.B. 1	4/A.B. 1		225	RELOCATED FROM DEMO
229A	2' - 6"	7' - 0"	0' - 1 3/4"	WD	2	1	1	2' - 10"	7' - 2"	HM	1	5/A.B. 1	3/A.B. 1	4/A.B. 1		229	RELOCATED FROM DEMO
229B	3' - 0"	7' - 0"	0' - 1 3/4"	WD	1	1	1	3' - 4"	7' - 2"	HM	1					229	
231	3' - 0"	7' - 0"	0' - 1 3/4"	WD	1	1	1	3' - 4"	7' - 2"	HM	1					231	
303	3' - 0"	7' - 0"	0' - 1 3/4"	WD	1	1	1	3' - 4"	7' - 2"	HM	1					303	TO MATCH DOOR OF RM 323
304	2' - 6"	7' - 0"	0' - 1 3/4"	WD	1	1	1	2' - 10"	7' - 2"	HM	1					214	
305	3' - 0"	7' - 0"	0' - 1 3/4"	WD	2	1	1	3' - 4"	7' - 2"	HM	1	5/A.B. 1	3/A.B. 1	4/A.B. 1		305	RELOCATED FROM DEMO
306	3' - 9"	8' - 0"	0' - 2"													307	
306A	5' - 0"	7' - 0"	0' - 1 1/2"													306	RELOCATED FROM OFFICE 224
306B	5' - 0"	7' - 0"	0' - 1 1/2"													306	RELOCATED FROM OFFICE 224
310	3' - 0"	7' - 0"	0' - 1 3/4"	WD	2	1	1	3' - 4"	7' - 2"	HM	1	5/A.B. 1	3/A.B. 1	4/A.B. 1		310	RELOCATED FROM DEMO
311A	3' - 0"	7' - 0"	0' - 1 3/4"	WD	2	1	1	3' - 4"	7' - 2"	HM	1	5/A.B. 1	3/A.B. 1	4/A.B. 1		311	RELOCATED FROM DEMO
311B	3' - 0"	7' - 0"	0' - 1 3/4"	WD	1	1	1	3' - 4"	7' - 2"	HM	1					311	
315	6' - 0"	8' - 0"	0' - 1 3/4"	paint-door	1	2	1	6' - 4"	8' - 2"	paint - white	1					323	
317	3' - 0"	7' - 0"	0' - 1 3/4"	WD	1	1	1	3' - 4"	7' - 2"	HM	1	5/A.B. 1	3/A.B. 1	4/A.B. 1		317	RELOCATED FROM DEMO, TO MATCH DOOR OF RM 232
318	3' - 0"	7' - 0"	0' - 1 3/4"	WD	1	1	1	3' - 4"	7' - 2"	HM	1	5/A.B. 1	3/A.B. 1	4/A.B. 1		318	RELOCATED FROM DEMO, TO MATCH DOOR OF RM 232
325	3' - 0"	7' - 0"	0' - 1 3/4"	WD	1	1	1	3' - 4"	7' - 2"	HM	1	5/A.B. 1	3/A.B. 1	4/A.B. 1		325	RELOCATED FROM DEMO

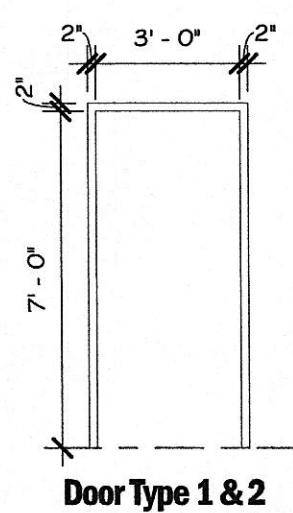
5 Door Scedule
NTS



4 Door Detail - Head/Jamb
3\"/>



2 Door Types
1\"/>



3 Door Detail - Sill
3\"/>

1 Door Frames
1\"/>



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Project Name:
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300 N. Roane Street
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Project Number: 17155.00
Date: 07.13.18
Drawn By: T. Johnston
Checked By: K. Moran

Drawing Issued For:
☐ Schematic Design
☐ Design Development
☒ Construction

Revisions:
No. Date Description

Sheet Title:
Door Schedule, Elevations, & Details

Sheet No:
A8.1

Date: 7/13/2018 5:05:13 PM
User: T.Johnston
File: C:\Revit Local Files\17155-00_Harriman Utilities Board_Misc\401_Layouts\6.rvt

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Finish Index										
Material Code	Material Name	Manufacturer	Collection	Product Number	Product Name	Size	Color Number	Color Name	Installation Method	Comments
FLOOR FINISH										
CPT 1	CARPET	INTERFACE	ICE BREAKER	1473002500	--	19" X 19"	#105775	QUARRY	MONOLITHIC	--
LVT 1	LUXURY VINYL TILE	AVA	D5GN	--	--	6" X 48"	#T0005	TUSCANY OAK STEEL	BRICK ASHLAR, GLUE DOWN	20 MIL WEAR LAYER
PT 1	PORCELAIN TILE	FLORIDA TILE	NY2LA	--	--	12" X 24"	#NY230	RIVERSIDE STEEL	MONOLITHIC, LATICRETE GROUT - 89 SMOKE GREY, 1/8" GROUT	--
PT 2	PORCELAIN TILE	MARAZZI	MONTAGNA	--	BLENDED	12" X 12"	--	--	MONOLITHIC, LATICRETE GROUT - 35 MOCHA, 1/8" GROUT	TO BE USED WHERE DEMO WALLS MEET MATCHING ETR FLOOR
PT 3	EXISTING TILE	MARAZZI	MONTAGNA	--	CORTINA AVORIO	12" X 12"	--	--	MONOLITHIC, LATICRETE GROUT - 35 MOCHA, 1/8" GROUT, GROUT TO ALIGN WITH EXISTING/ADJACENT	VERIFY MATCH TO EXISTING
WC 1	WALKOFF CARPET	MOHAWK GROUP	TUFF STUFF II	QL311	STEP UP II TILE	24" X 24"	#955	COBALT	MONOLITHIC	--
TRIM & BASE FINISH										
CR 1	CHAIR RAIL	--	--	--	--	--	--	--	PROFILE TO MATCH EXISTING, PAINTED PTD 3	--
PT 1	PORCELAIN TILE	FLORIDA TILE	NY2LA	--	--	3" X 24"	#NY230	RIVERSIDE STEEL	BULLNOSE, LATICRETE GROUT - 89 SMOKE GREY	--
PTD 3	PAINT	SHERWIN WILLIAMS	--	--	--	--	#SW 7006	EXTRA WHITE	SEMIGLOSS FINISH	TRIM FINISH COLOR
RUB 1	RUBBER BASE	JOHNSONITE	TRADITIONAL 4" COVE BASE	TDC-XXX-45	BULLNOSE	4"	#29	MOONROCK WG	--	--
WO 1	WOOD BASE	--	--	--	--	--	--	--	PROFILE TO MATCH EXISTING, PAINTED PTD 3	--
WALL FINISH										
EPXY 1	EPOXY PAINT	SHERWIN WILLIAMS	PRO INDUSTRIAL WATERBORNE CATALYZED EPOXY	--	--	--	#SW 7011	NATURAL CHOICE	EPOXY PAINT	--
PT 1	PORCELAIN TILE	FLORIDA TILE	NY2LA	--	--	12" X 24"	#NY230	TUSCANY OAK STEEL	MONOLITHIC, LATICRETE GROUT - 89 SMOKE GREY, 1/8" GROUT	--
PTD 1	PAINT	SHERWIN WILLIAMS	--	--	--	--	#SW 7036	ACCESSIBLE BEIGE	EGGSHELL FINISH, FIELD COLOR	--
PTD 2	PAINT	SHERWIN WILLIAMS	--	--	--	--	#SW 7503	STICKS & STONES	EGGSHELL FINISH	--
PTD 4	PAINT	SHERWIN WILLIAMS	--	--	--	--	#SW 7011	NATURAL CHOICE	EGGSHELL FINISH	--
PTD 5	PAINT	SHERWIN WILLIAMS	--	--	--	--	#SW 7006	EXTRA WHITE	EGGSHELL FINISH	--
MILLWORK FINISH										
AF 1	ARCHITECTURAL FINISHES	3M DESIGNTX	DI-NOC FINE WOOD	--	--	48" WIDTH	#FW-1741	--	--	ACRYLIC PRESSURE-SENSITIVE ADHESIVE
AF 2	ARCHITECTURAL FINISHES	3M DESIGNTX	DI-NOC EARTHSTONE	--	--	48" WIDTH	#AE-1717	--	--	ACRYLIC PRESSURE-SENSITIVE ADHESIVE
GC 1	GLASS CHANNEL	US HORIZON	ALUMINUM GLAZING CHANNELS	AL-MO14-BN	U-CHANNEL FOR 1/4" GLASS ONLY	1/4"	--	SATIN-NICKLE	--	--
FLAM 1	PLASTIC LAMINATE	FORMICA	ARTISAN	--	--	--	#6209-43	PRESTIGE WALNUT	MATTE FINISH	--
FLAM 2	PLASTIC LAMINATE	FORMICA	--	--	--	--	#7735-58	PORTICO MARBLE	MATTE FINISH	--
FLAM 3	PLASTIC LAMINATE	FORMICA	NATURAL GRAIN	--	--	--	6414-NG	BLACK DRIFTWOOD	--	--
TRN 5	TRANSITION	FRY REGLET	MILLWORK	MWCK75	MILLWORK CORNER KEY	3/4"	--	GUN METAL GRAY	--	--
TRN 6	TRANSITION	FRY REGLET	MILLWORK	MWCB75400	4" MILLWORK CHANNEL BASE WITH RETURN KEY	3/4"	--	GUN METAL GRAY	--	--
CEILING FINISH										
ACT 1	ACOUSTIC CEILING TILE	ARMSTRONG	MINERAL FIBER & FIBERGLASS	--	CALLA	24" X 24"	WH1	WHITE	INSTALL IN EXISTING 2X2 GRID	MATCH EXISTING
MISCELLANEOUS FINISH										
TRN 1	TRANSITION	TARKETT	EGDE GUARD	EG-XX-J	--	--	#63	BURNT UMBER	TRANSITIONS FROM WC 1 TO LVT 1	--
TRN 2	TRANSITION	SCHLUTER SYSTEM	FLOOR PROFILES	--	SCHLUTER-RENO-TK	--	--	BRUSHED STAINLESS STEEL	ON WALL @ 4" O"	--
TRN 3	TRANSITION	TARKETT	SLIMLINE TRANSITIONS	SLT-XX-B	--	--	#29	MOONROCK WG	TRANSITIONS FROM CPT 1 TO LVT 1	--
TRN 4	TRANSITION	SCHLUTER SYSTEM	BORDER PROFILES	--	SCHLUTER-RONDEC-DB	--	--	BRUSHED STAINLESS STEEL	TRANSITIONS FROM PT 1 TO CPT 1	--
WF 1	WINDOW FILM	SOLYX	DECOARATIVE FILMS	SX-1000	FINE CAST SAND BLAST	36"	--	IAG	INSTALL ON OFFICE (INTERIOR) SIDE OF GLASS	SEE ID3.0 FOR ELEVATION, DESIGNATED WITH GRAY HATCH

2 Finish Legend

MANUFACTURER CONTACTS

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Johnsonite

Bill Morgan
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NOTE #1:
NOTE #2:
NOTE #3:

1. REFER TO GENERAL NOTES ON GO.1
2. REFER TO IDO.0 FOR FINISH SCHEDULE AND FINISH LEGEND.
3. GENERAL CONTRACTOR AND/OR SUBCONTRACTOR TO VERIFY LEAD TIMES AT TIME OF BIDDING.
4. GENERAL CONTRACTOR TO FIELD VERIFY EXISTING WALL, FLOOR, AND CEILING CONDITIONS PRIOR TO CONSTRUCTION. ALL WALL PREP, FLOOR PREP, AND REQUIRED ADDITIONAL PREP TO RECEIVE SPECIALTY FINISHES SHALL BE INCLUDED IN THE SCOPE OF WORK.
5. GYPSUM BOARD CONTROL AND EXPANSION JOINTS ARE TO BE INSTALLED AS REQUIRED BY THE U.S. GYPSUM ASSOCIATION.
6. DRYWALL SUBCONTRACTOR TO REFER TO MANUFACTURERS RECOMMENDATIONS FOR LEVEL OF FINISH REQUIRED, TO RECEIVE SCHEDULED SPECIALTY FINISHES.
7. ALL GRILLES / VENTS MOUNTED TO WALLS / DROPPED SOFFITS TO BE PAINTED TO MATCH WALL COLOR.
8. GC TO SUBMIT SAMPLES FOR ARCHITECT APPROVAL ON ALL FINISHES.
9. CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY UPON DISCOVERY OF DISCREPANCIES BETWEEN THESE DRAWINGS AND EXISTING CONDITIONS.
10. ALL FLOOR TILE TO BE INSTALLED PER TCNA F128-12 AND TCNA EJ171 COORDINATE EXPANSION JOINT LOCATIONS PER STRUCTURAL DRAWINGS.
11. ALL WALL TILE TO BE INSTALLED PER TCNA 1243-12.

4 Manufacturer's Contacts

3 General Finish Notes



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Project Name:
Harriman Utility Board
300 N. Roane Street
Harriman, TN 37748

Project Number: 17155.00
Date: 07.13.18
Drawn By: T.Johnston
Checked By: K.Moran

Drawing Issued For:
☐ Schematic Design
☐ Design Development
☒ Construction

Revisions:
No. Date Description

Sheet Title:
Finish Schedule & Legend

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IDO.0

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Finish Schedule									
ROOM NUMBER	ROOM NAME	FLOOR FINISH	TRIM FINISH	BASE FINISH	WALL FINISH	MILLWORK		CEILING FINISH	COMMENTS
						HORIZONTAL	VERTICAL		
100	Hallway	ETR, PT 2, PT 3	PTD 3	ETR/PM	PTD 1, PTD 2, PTD 5			ETR/PM	
101	Storage	ETR	PTD 3	ETR/PM	ETR			ETR	
102	Elevator Room	ETR	PTD 3	ETR	ETR			ETR	
103	Large Meeting Room	ETR, PT 2, PT 3	PTD 3	ETR/PM	PTD 4	PLAM 2	PLAM 1	ACT 1	
105	Entry	WC 1	PTD 3	ETR/PM	PTD 1			ETR	
106	Janitor	ETR	PTD 3	ETR/PM	ETR			ETR	
107	Men	ETR	PTD 3	ETR	PTD 4, EPXY 1	PLAM 2		ETR	
108	Women	ETR	PTD 3	ETR	PTD 4, EPXY 1	PLAM 2		ETR	
111	Office	ETR	PTD 3	ETR	PTD 4			ACT 1	
112	Server Room	ETR	PTD 3	ETR/PM	PTD 4			ACT 1	
113	Storage	ETR	PTD 3	ETR/PM	PTD 4			ACT 1	
114	Electrical Space	ETR	PTD 3	ETR, RUB 1	ETR			ETR	
115	Mechanical Space	ETR	PTD 3	ETR/PM	ETR			ETR	
116	Office	ETR, PT 2, PT 3	PTD 3	ETR/PM	PTD 4			ETR/PM	
117	Office	ETR, PT 2	PTD 3	ETR/PM	PTD 4			ETR	
118	Storage	ETR	PTD 3	ETR/PM	ETR			ETR	
119	Office	ETR	PTD 3	ETR/PM	PTD 4			ETR	
120	Toilet	ETR	PTD 3	ETR/PM	PTD 4, EPXY 1			ETR	
121	Closet	ETR	PTD 3	ETR	ETR			ETR	
122	Storage	ETR	PTD 3	ETR/PM	PTD 4			ETR	
123	Office	ETR	PTD 3	ETR/PM	PTD 4			ETR	
124	Office	ETR	PTD 3	ETR	PTD 4			ACT 1	
125	Office	ETR	PTD 3	ETR	PTD 4			ACT 1	
126	Storage	PT 3	ETR	ETR/PM	PTD 4			ACT 1	
127	Bathroom	ETR	PTD 3	ETR/PM	PTD 4, EPXY 1			ETR	
128	Closet	ETR	PTD 3	ETR/PM	ETR			ETR	
200	Vestibule	WC 1	PTD 3	ETR/PM	PTD 1			ETR	
201	Room	ETR	PTD 3	ETR/PM	ETR			ETR	
202	Copy Room	ETR	PTD 3	ETR/PM	ETR			ETR	
203	File Room	ETR	PTD 3	ETR/PM	PTD 4			ETR	
204A	Break Room	ETR	PTD 3	ETR/PM	PTD 4			ETR	
204B	Break Room	ETR	PTD 3	ETR/PM	PTD 4			ETR	
205	Office	ETR	PTD 3	ETR/PM	PTD 4			ETR	CHAIR RAIL & BASE - PT 3, REPAIR & MATCH
206	Engineering Room	LVT 1	PTD 3	WD 1	PTD 4			ETR	
207	Hallway	LVT 1	PTD 3	ETR/PM, WD 1	PTD 1, PTD 2			ETR	
208	Office	ETR	PTD 3	ETR/PM	PTD 4			ETR	CHAIR RAIL & BASE - PT 3, REPAIR & MATCH
209	Office	ETR	PTD 3	ETR/PM	PTD 4			ETR	CHAIR RAIL & BASE - PT 3, REPAIR & MATCH
210	Hallway	LVT 1	PTD 3	ETR/PM, WD 1	PTD 1, PTD 2, PTD 5	AF 1		ETR	AF 1 - USED BEHIND FRONT DESK
211	Men	ETR	PTD 3	ETR	PTD 4, EPXY 1			ETR	
212	Women	ETR	PTD 3	ETR	PTD 4, EPXY 1			ETR	
213	Drive Thru	ETR	PTD 3	ETR/PM	ETR, PTD 2, PTD 5	AF 2	AF 1	ETR	
214	Closet	LVT 1	PTD 3	ETR/PM	PTD 4			ETR	
214	HVAC	ETR	PTD 3	ETR	PTD 1			ETR	
216	Storage	ETR	PTD 3	ETR/PM	ETR			ETR	
217	Storage	ETR	PTD 3	ETR/PM	ETR			ETR	
218	Office	ETR	PTD 3	ETR/PM	PTD 4			ETR	CHAIR RAIL & BASE - PT 3, REPAIR & MATCH
219	Hallway	LVT 1	PTD 3	ETR, WD 1	PTD 1, PTD 2			ETR	
220	Office	ETR	PTD 3	WD 1	PTD 4	PLAM 1		ETR	
221	Office	ETR	PTD 3	WD 1	PTD 4			ETR	
222	Office	ETR	PTD 3	ETR/PM	PTD 4			ETR	CHAIR RAIL & BASE - PT 3, REPAIR & MATCH
223	Office	ETR	PTD 3	ETR/PM	PTD 4			ETR	CHAIR RAIL & BASE - PT 3, REPAIR & MATCH
224	Office	CPT 1	PTD 3	ETR/PM	PTD 4			ETR	CHAIR RAIL & BASE - PT 3, REPAIR & MATCH
225	Office	ETR	PTD 3	ETR/PM	PTD 4			ETR	CHAIR RAIL & BASE - PT 3, REPAIR & MATCH
226	Office	ETR	PTD 3	WD 1	PTD 4			ETR	
229	Office	ETR	PTD 3	WD 1	PTD 4			ETR	
230	Lobby	LVT 1	PTD 3	ETR/PM	PTD 1, PTD 2	AF 1	AF 1	ETR	
231	Reception	LVT 1	PTD 3	ETR/PM	PTD 1	PLAM 3	PLAM 1	ETR	
232	Closet	CPT 1	PTD 3	RUB 1	PTD 4			ETR	
300	Vestibule	LVT 1	PTD 3	RUB 1	PTD 1			ETR	
301	Storage	ETR	PTD 3	RUB 1	ETR			ETR	
302	Storage	ETR	PTD 3	RUB 1	ETR			ETR	
303	Office	CPT 1	PTD 3	RUB 1	PTD 4			ETR	
304	Billing Department	CPT 1	PTD 3	RUB 1	PTD 4			ETR	
305	Office	CPT 1	PTD 3	RUB 1	PTD 4			ETR	
306	Training Room	CPT 1	PTD 3	RUB 1	PTD 4			ETR	
307	Hallway	LVT 1	PTD 3	RUB 1	PTD 1			ETR	CHAIR RAIL - PTD 3, REPAIR & MATCH
308	Storage	CPT 1	PTD 3	RUB 1	PTD 4			ETR	
309	File Room	CPT 1	PTD 3	RUB 1	PTD 4			ETR	
310	Office	CPT 1	PTD 3	RUB 1	PTD 4			ETR	
311	Office	CPT 1	PTD 3	RUB 1	PTD 4			ETR	
312	Hallway	LVT 1	PTD 3	RUB 1	PTD 1	--	--	ETR	CHAIR RAIL - PTD 3, REPAIR & MATCH
313	Men	PT 1	PTD 3	PT 1	PTD 4, EPXY 1	PLAM 2		ETR	
314	Storage	ETR	PTD 3	RUB 1	ETR			ETR	
315	Women	PT 1	PTD 3	PT 1	PTD 4, EPXY 1	PLAM 2		ETR	
316	Storage	CPT 1	PTD 3	RUB 1	PTD 4			ETR	
317	Office	CPT 1	PTD 3	RUB 1	PTD 4			ETR	
318	Office	CPT 1	PTD 3	RUB 1	PTD 4			ETR	
319	Copy Room	CPT 1	PTD 3	RUB 1	PTD 4			ETR	
320	Storage	CPT 1	PTD 3	RUB 1	PTD 4			ETR	
321	Toilet	PT 1	PTD 3	PT 1	PTD 4, EPXY 1	PLAM 2		ETR	
322	Galley	PT 1	PTD 3	PT 1	PTD 4, EPXY 1	PLAM 2		ETR	
323	Conference Room	CPT 1	ETR	ETR/PM	PTD 4			ETR	REPAIR & MATCH
324	Office	CPT 1	ETR	ETR/PM	PTD 4			ETR	REPAIR & MATCH
325	Office	CPT 1	PTD 3	RUB 1	PTD 4			ETR/PM	
326	Hallway	LVT 1	PTD 3	RUB 1	PTD 1			ETR	CHAIR RAIL - PTD 3, REPAIR & MATCH
327	Storage	CPT 1	PTD 3	RUB 1	PTD 4			ETR	
328	Hallway	LVT 1	PTD 3	RUB 1	PTD 1			ETR	CHAIR RAIL - PTD 3, REPAIR & MATCH
331	Hallway	LVT 1	PTD 3	RUB 1	PTD 1			ETR	CHAIR RAIL - PTD 3, REPAIR & MATCH
334	Hallway	CPT 1	PTD 3	RUB 1	PTD 4			ETR	
A	Stairs	ETR	PTD 3	ETR	ETR	--	--	ETR	PAINT RAILING - PTD 3
B	Stairs	ETR	PTD 3	ETR	ETR	--	--	ETR	PAINT RAILING - PTD 3

2 Finish Schedule
NTS

FINISH ABBREVIATIONS

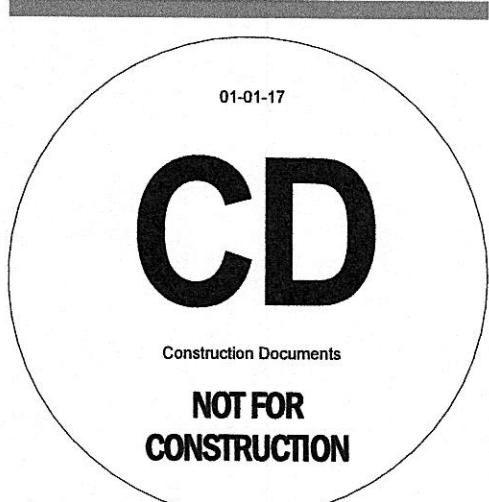
A		P	
AF	Above Finished Floor	PM	Patch & Match
ACT	Acoustical Ceiling Tile	PTD	Painted
AF	Architectural Finishes	PLAM	Plastic Laminate
		PWC	Plastic Wall Covering
B		PC	Polished Concrete
		POLY	Poly Resin
BBT	Bio-Based Tile	PT	Porcelain Tile
C		Q	
		QTZ	Quartz
CT	Ceramic Tile	R	
CPT	Carpet	RUB	Rubber Base
COM	Customer Owned Material	S	
CONC	Concrete (Sealed)	SHT-V	Sheet Vinyl
CG	Corner Guard	SHT-RUB	Sheet Rubber
E		SSM	Solid Surface
EPXY	Epoxy	SC	Stained Concrete
ETR	Existing Material	SST	Stainless Steel
G		SGF	Synthetic Stone
GC	Glass Channel	T	
GWB	Gypsum Wall Board	TRN	Transitions
I		V	
IB	Integral Base	VCT	Vinyl Composition Tile
L		VWC	Vinyl Wallcovering
LVT	Luxury Vinyl Tile	WMCT	Wire Management Cable Tray
M		W	
MC	Millwork Channel	WD	Wood
O		WC	Walkoff Carpet
OFCI	Owner Furnished, Contractor Installed		
OFOI	Owner Furnished, Owner Installed		

1 Finish Abbreviations
NTS



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Project Name:
Harman Utility Board
300 N. Roane Street
Harman, TN 37748

Project Number: 17155.00
Date: 07.13.18
Drawn By: T.Johnston
Checked By: K.Moran

Drawing Issued For:
☐ Schematic Design
☐ Design Development
☒ Construction

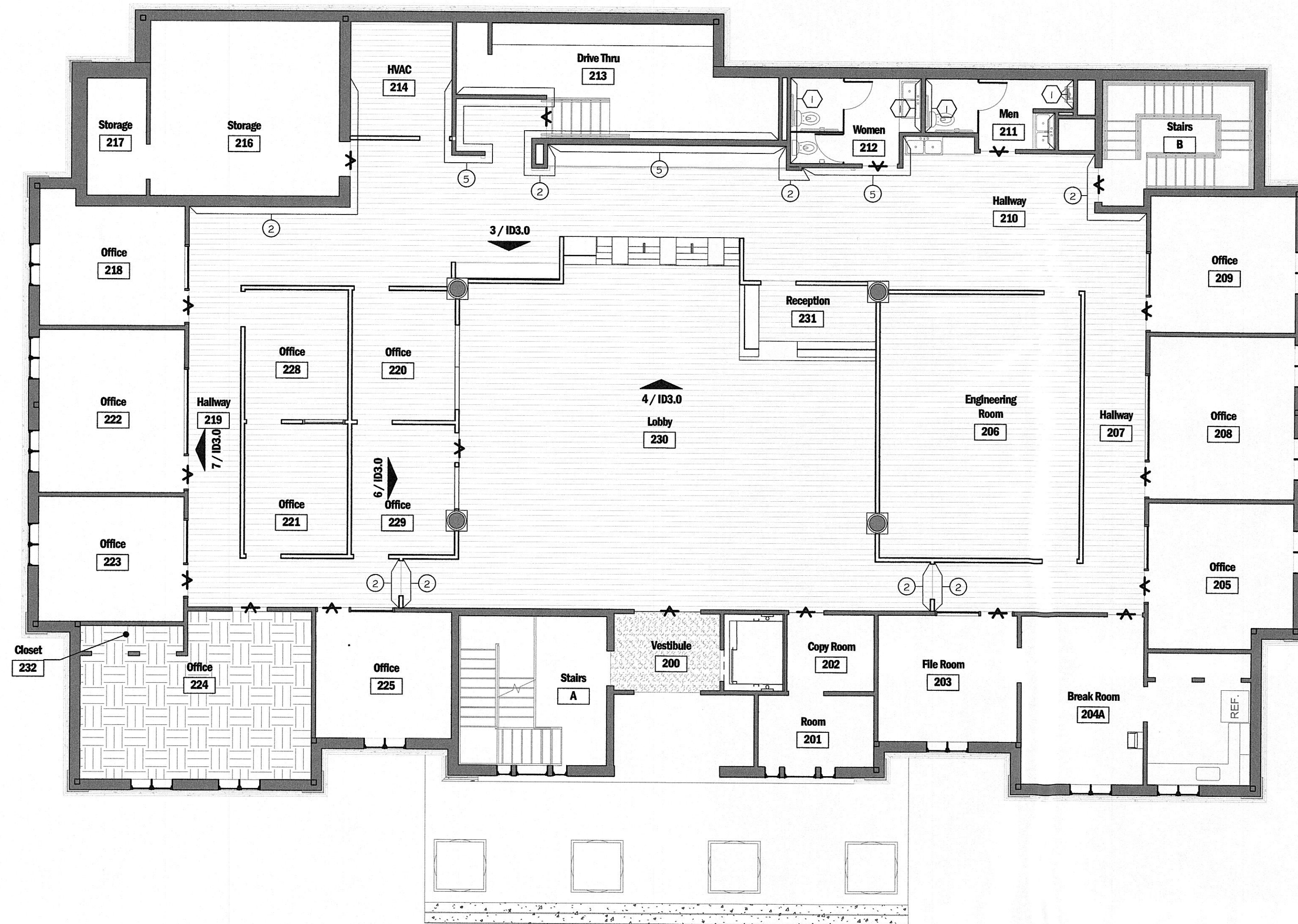
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ID0.1

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3 Finish Floor Plan - Main Floor
1/8" = 1'-0"

2 Not Used

FINISH SYMBOL LEGEND:

MATERIALS ARE IDENTIFIED ON BOTH THE ROOM FINISH SCHEDULE AND ON THE DISTRIBUTION PLAN. THE COMPLEXITY OF FINISHES/MATERIALS ARE CLARIFIED ON THE DISTRIBUTION PLANS BY ONE OF THE SYMBOLS NOTED BELOW:

- FORCEFLAN TILE DISTRIBUTION SYMBOL MATERIAL CODE
- DISTRIBUTION SYMBOL MATERIAL CODE
- PAINT DISTRIBUTION SYMBOL MATERIAL CODE
- EPOXY PAINT DISTRIBUTION SYMBOL MATERIAL CODE
- REDUCER/TRANSITION STRIP (NOTE: NOT ALL SHOWN)
- DENOTES COLOR ON ALL WALLS OF ROOM
- DENOTES EXTENT OF COLOR/MATERIAL
- DENOTES EXTENT OF COLOR/MATERIAL
- DENOTES COLOR/MATERIAL ABOVE
- DENOTES COLOR/MATERIAL BELOW

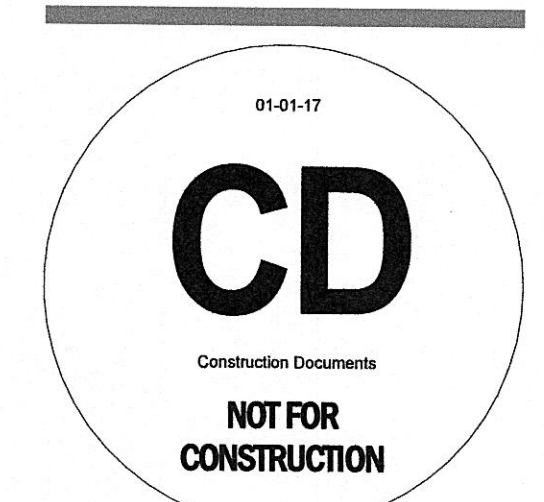
- EXISTING
- LVT 1
- PT 3, ALIGN GROUT
- WC 1
- CPT 1
- ETR TILE
- PT 1
- AF 1
- PTD 1
- PTD 4

1 Finish Legend



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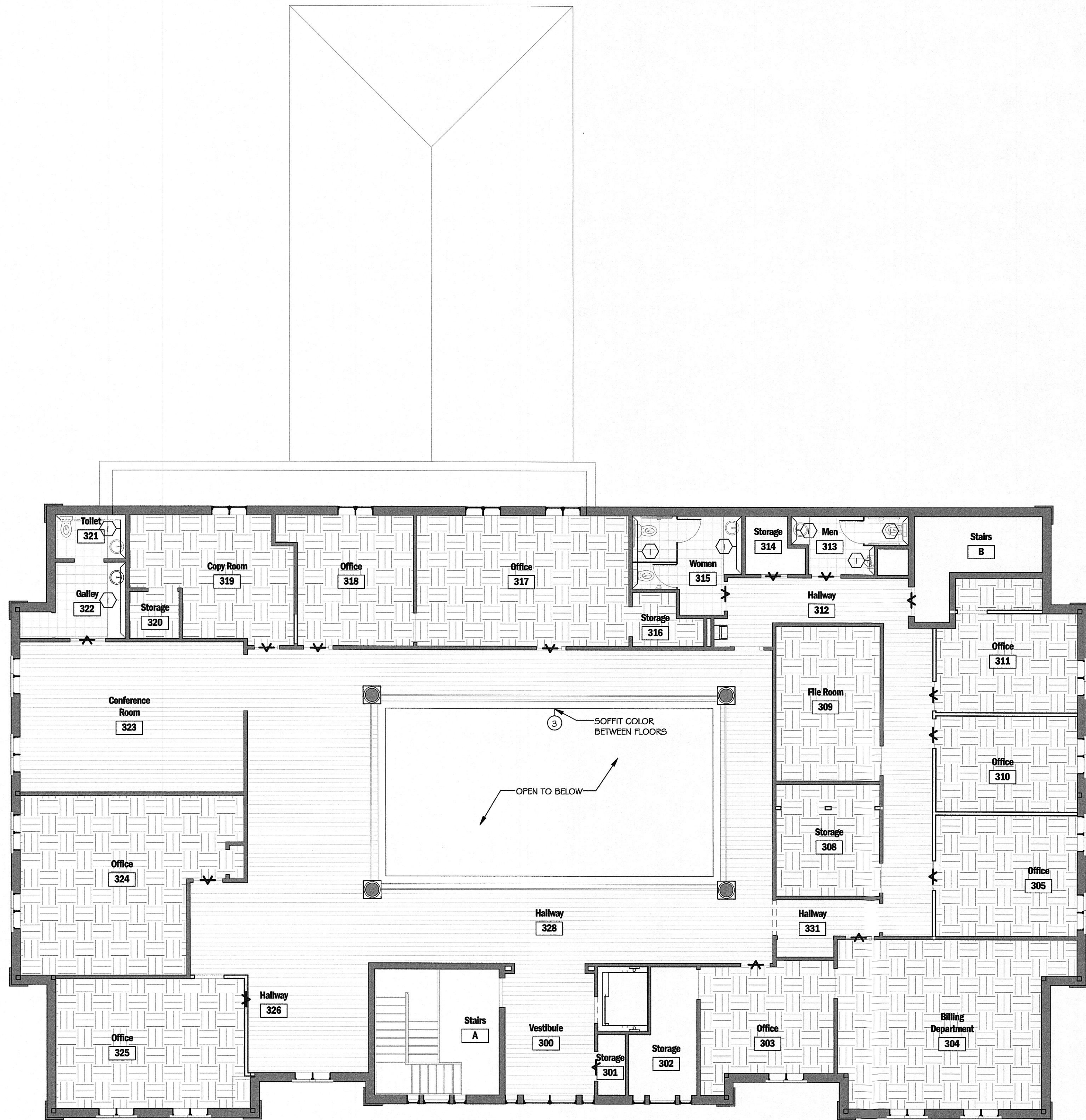
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3 Finish Floor Plan - Second Floor
1/8" = 1'-0"



2 Not Used

FINISH SYMBOL LEGEND:

MATERIALS ARE IDENTIFIED ON BOTH THE ROOM FINISH SCHEDULE AND ON THE DISTRIBUTION PLAN. THE COMPLEXITY OF FINISHES/MATERIALS ARE CLARIFIED ON THE DISTRIBUTION PLANS BY ONE OF THE SYMBOLS NOTED BELOW:

- PORCELAIN TILE DISTRIBUTION SYMBOL MATERIAL CODE
 - DISTRIBUTION SYMBOL MATERIAL CODE
 - PAINT DISTRIBUTION SYMBOL MATERIAL CODE
 - EPOXY PAINT DISTRIBUTION SYMBOL MATERIAL CODE
 - REDUCER/TRANSITION STRIP (NOTE: NOT ALL SHOWN)
- DENOTES COLOR ON ALL WALLS OF ROOM
 - DENOTES EXTENT OF COLOR/MATERIAL
 - DENOTES EXTENT OF COLOR/MATERIAL
 - DENOTES COLOR/MATERIAL ABOVE
 - DENOTES COLOR/MATERIAL BELOW

EXISTING	CPT 1	PTD 1
LVT 1	ETR TILE	PTD 4
PT 3, ALIGN GROUT	PT 1	
WC 1	AF 1	

1 Finish Legend



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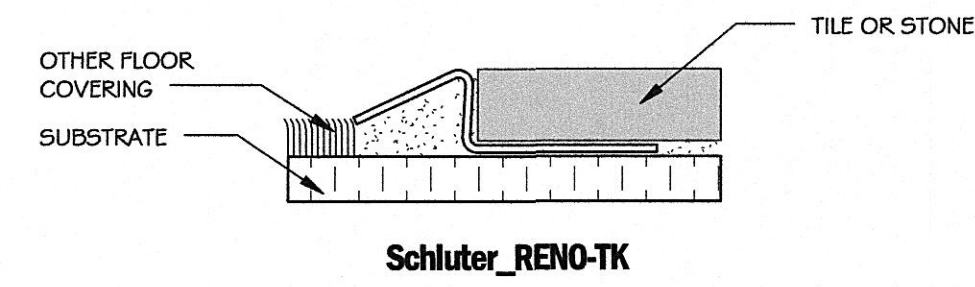
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☐ Schematic Design
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Revisions:
No. Date Description

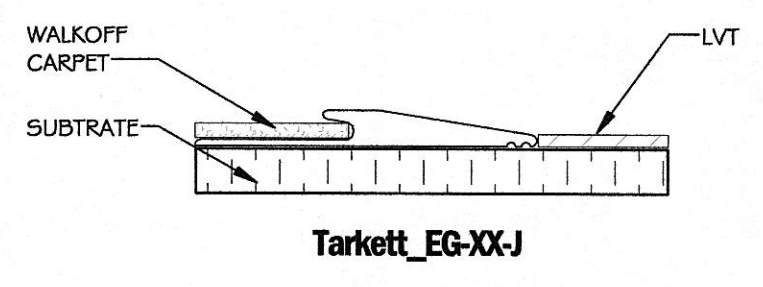
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Sheet No:
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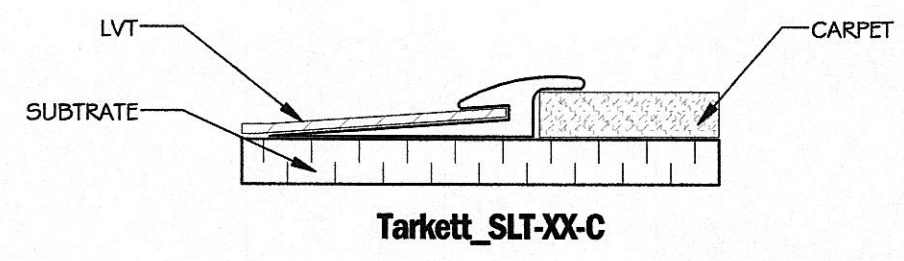
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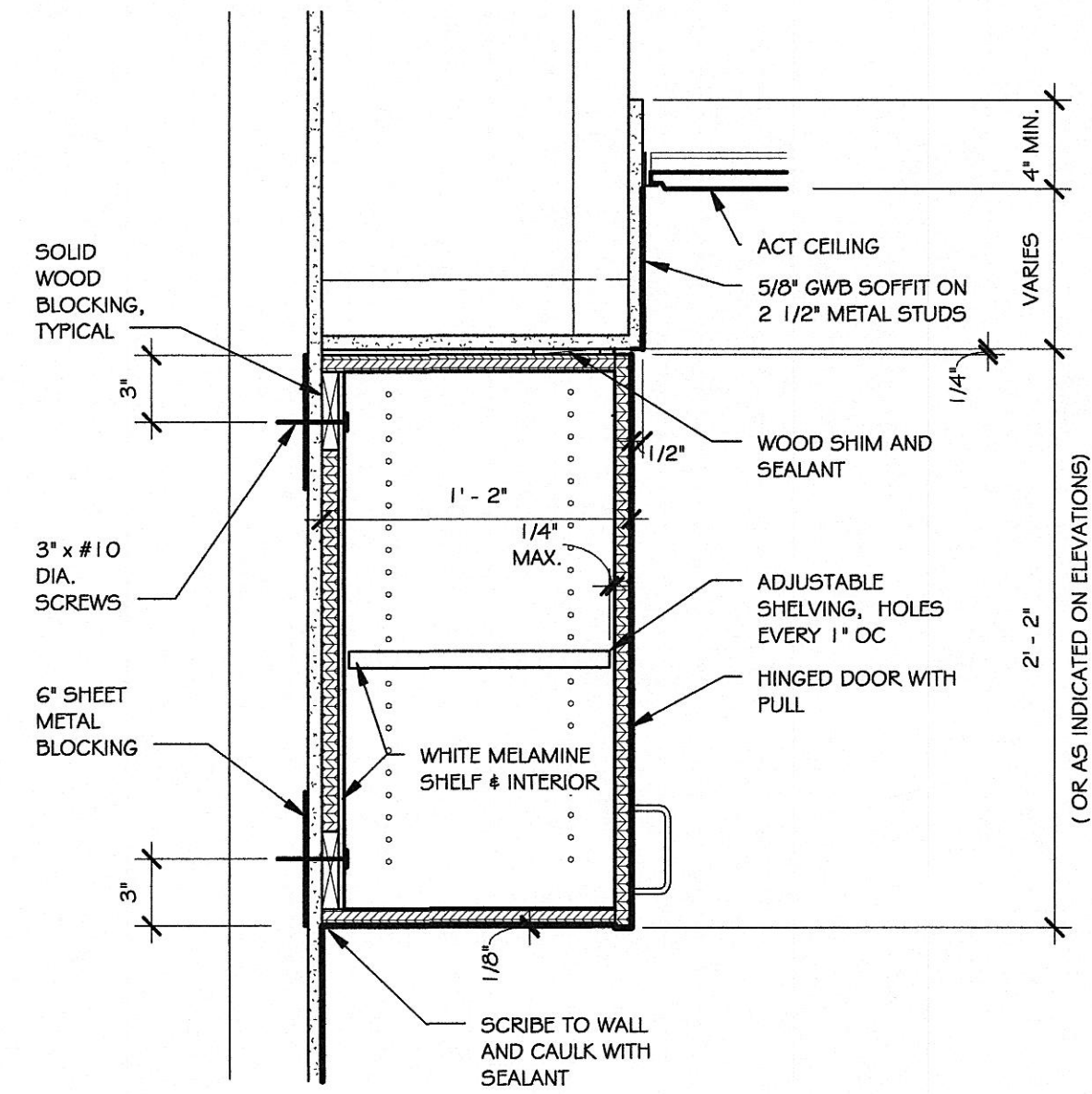
6 Schluter_RENO-TK
1/2" = 1'-0"



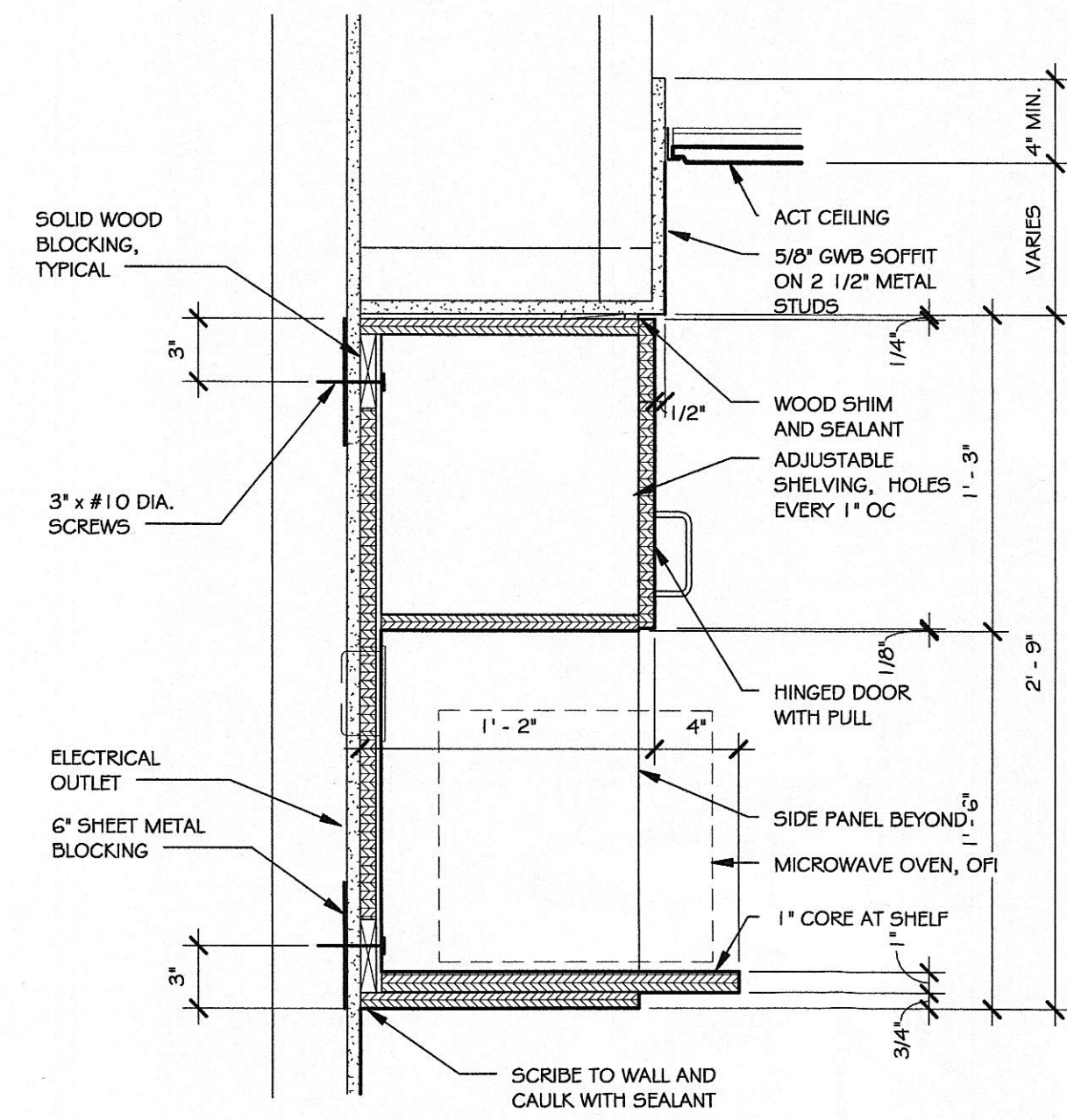
7 Tarkett_Edge Guard_EG-XX-J
1/2" = 1'-0"



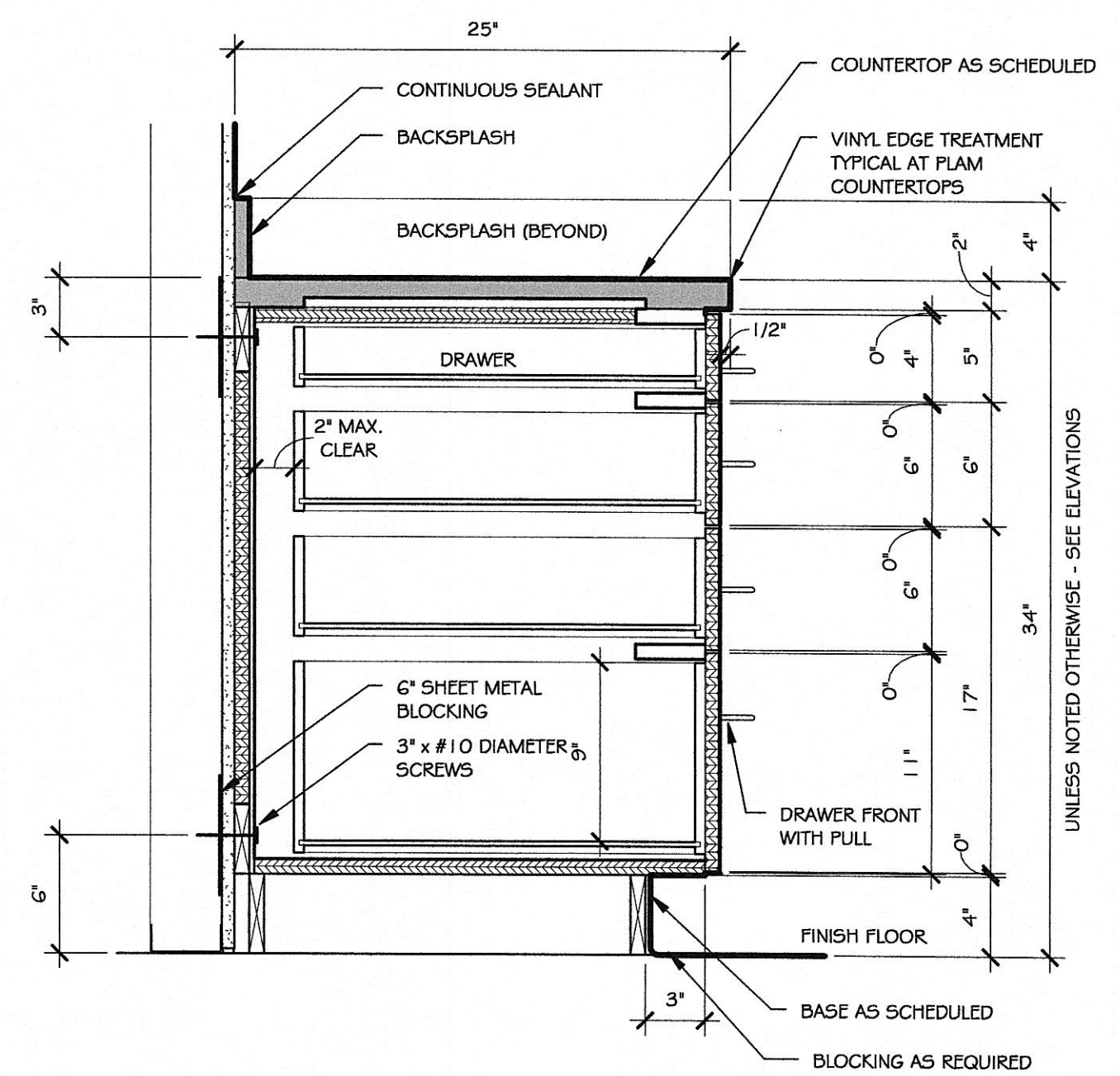
8 Tarkett_Slimline Transitions_SLT-XX-C
1/2" = 1'-0"



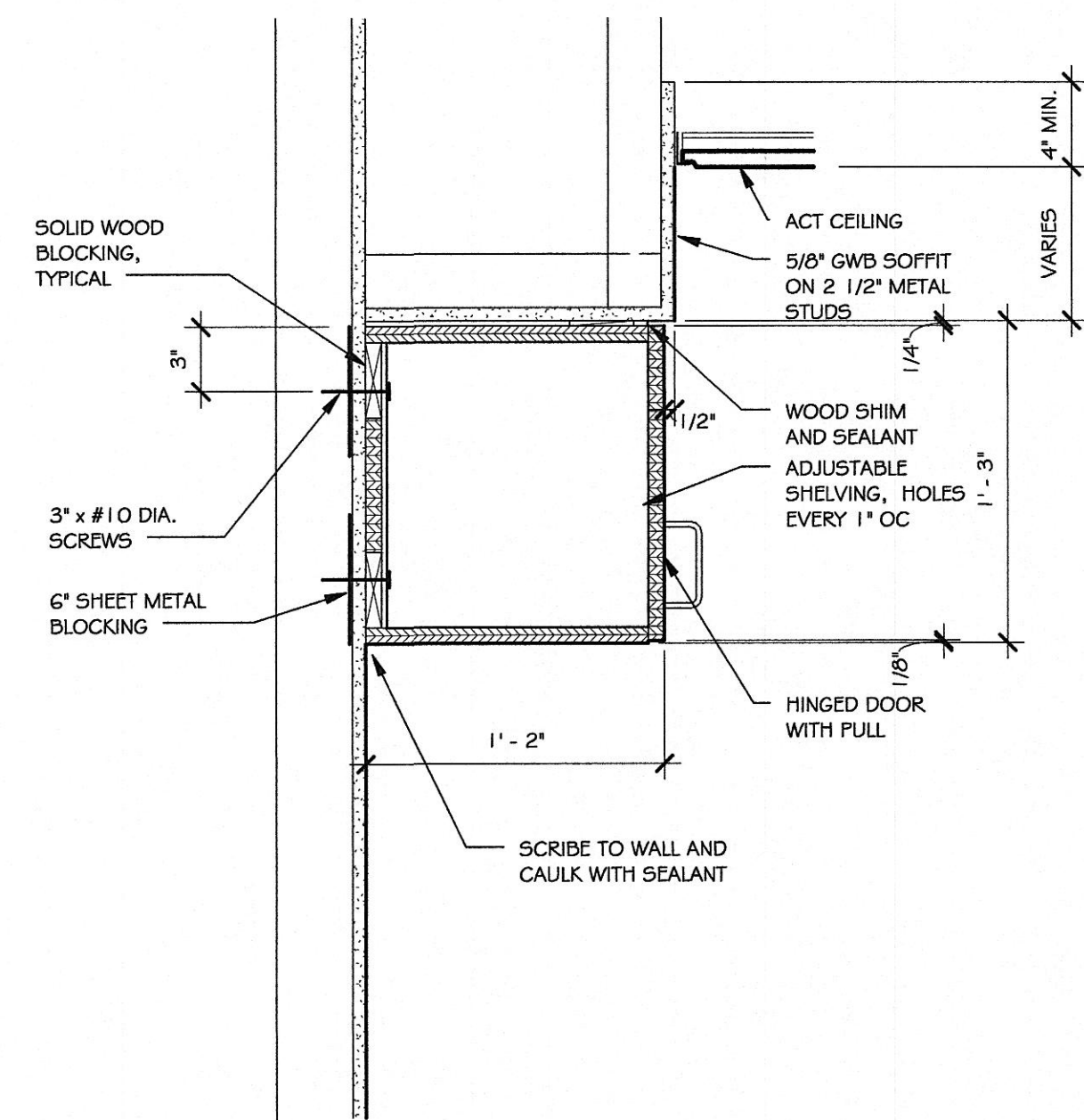
5 Typical Upper Millwork Section
1/2" = 1'-0"



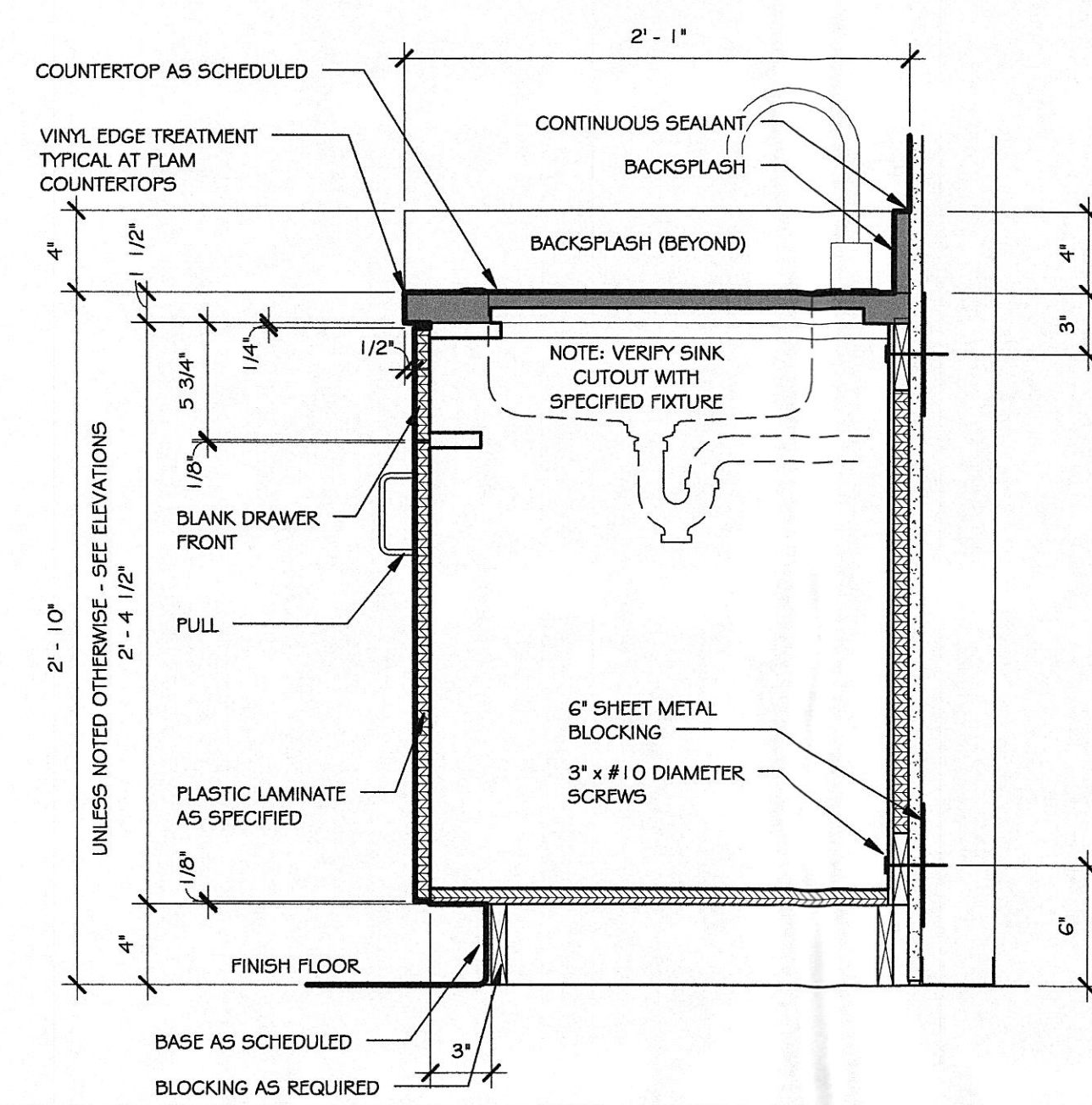
3 Typical Microwave Shelf
1/2" = 1'-0"



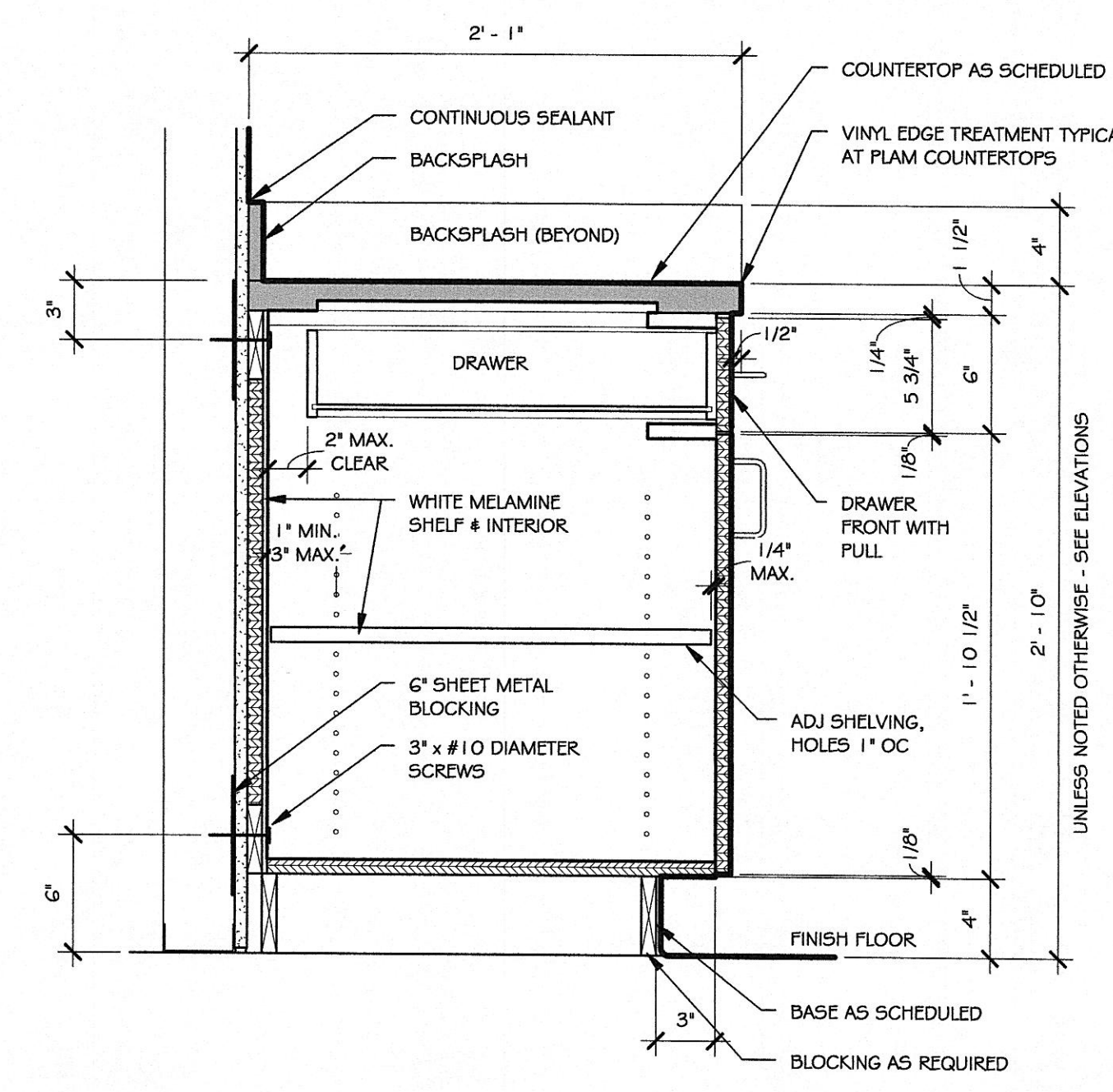
9 Typical Base Millwork Section With Drawers
1/2" = 1'-0"



1 Typical Upper Half Cabinet Millwork Detail
1/2" = 1'-0"



4 Typical Sink Cabinet Section
1/2" = 1'-0"

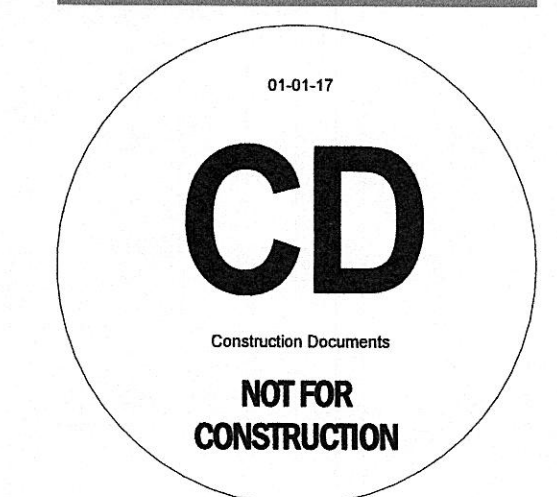


2 Typical Base Millwork Section
1/2" = 1'-0"



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Project Name:
Harriman Utility Board
300 N. Roane Street
Harriman, TN 37748

Project Number: 17155.00
Date: 07.13.18
Drawn By: T.Johnston
Checked By: K.Moran

Drawing Issued For:
☐ Schematic Design
☐ Design Development
☒ Construction

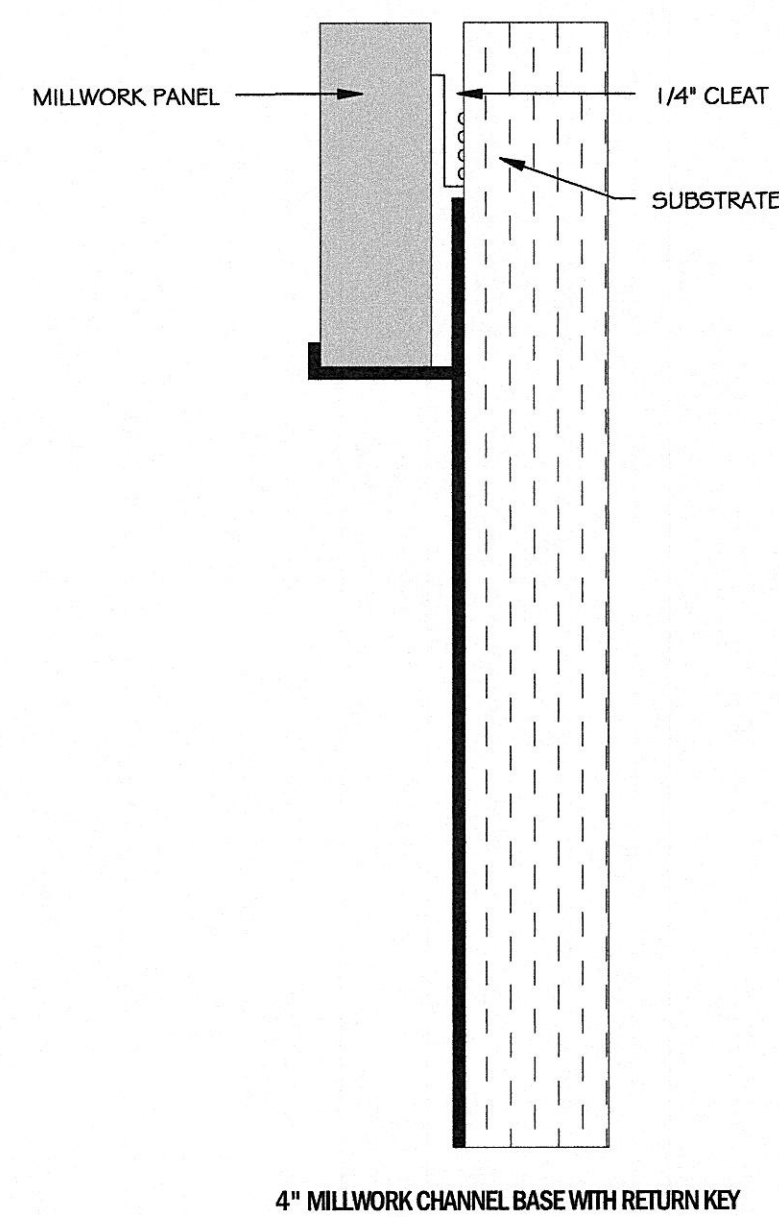
Revisions:	No.	Date	Description

Sheet Title:
Interior Details

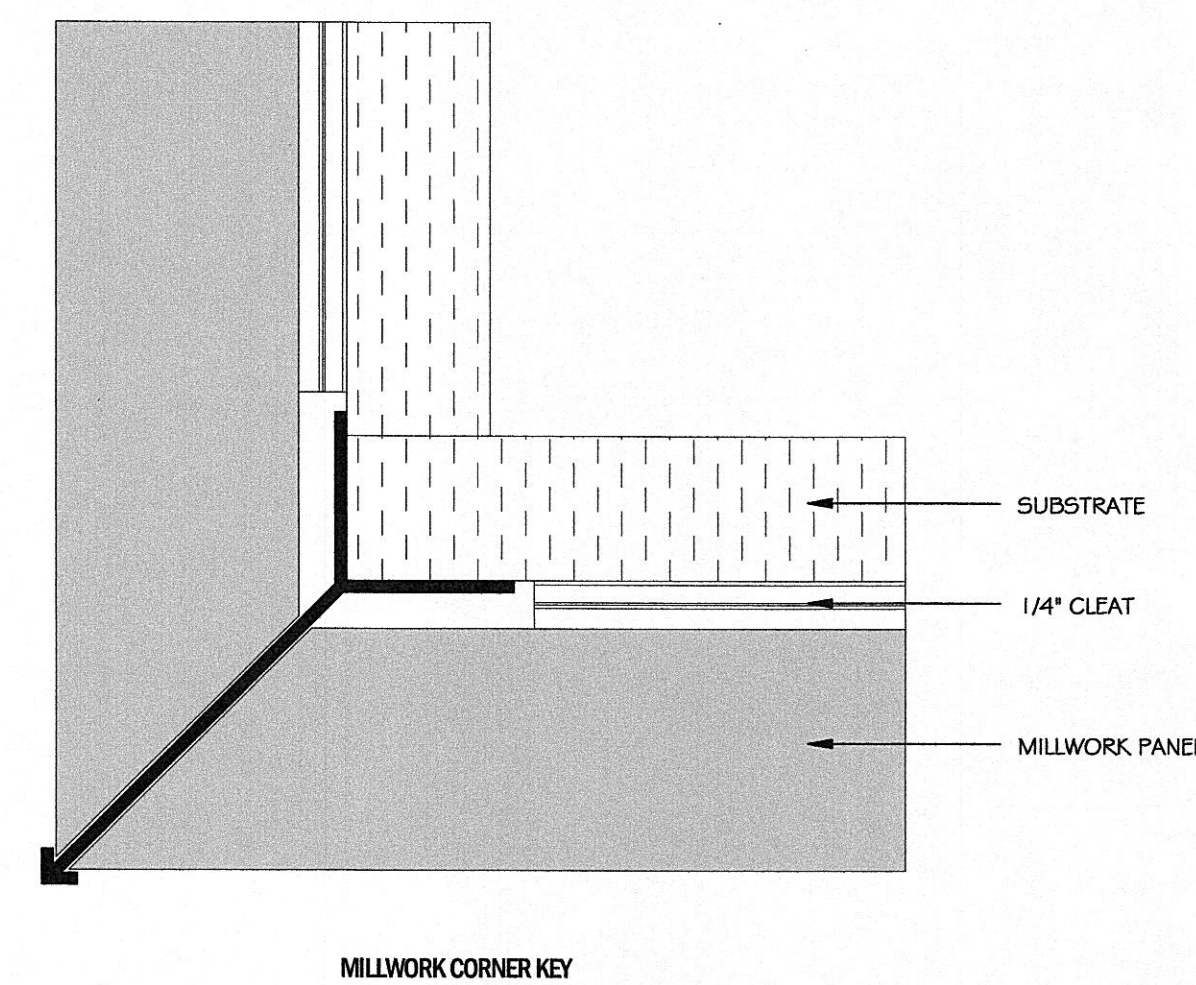
Sheet No:
ID4.0

Date: 7/13/2018 5:05:50 PM
User: T.Johnston
File: C:\Work Local Files\17155_00_Harriman Utilities Board_Model01_Lynne16.rvt

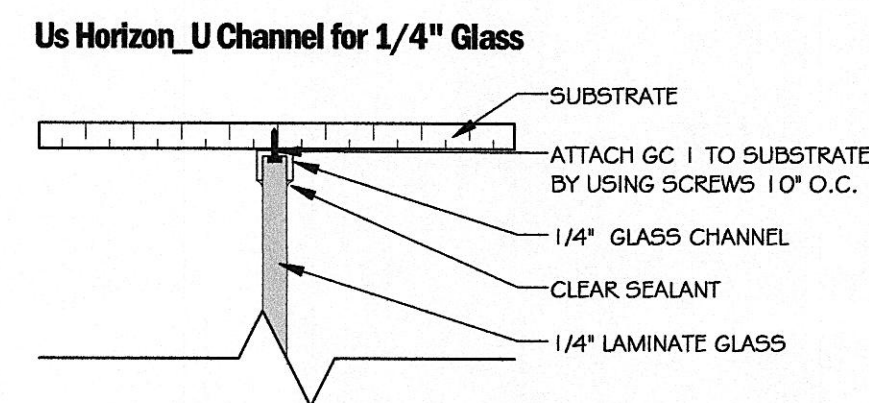
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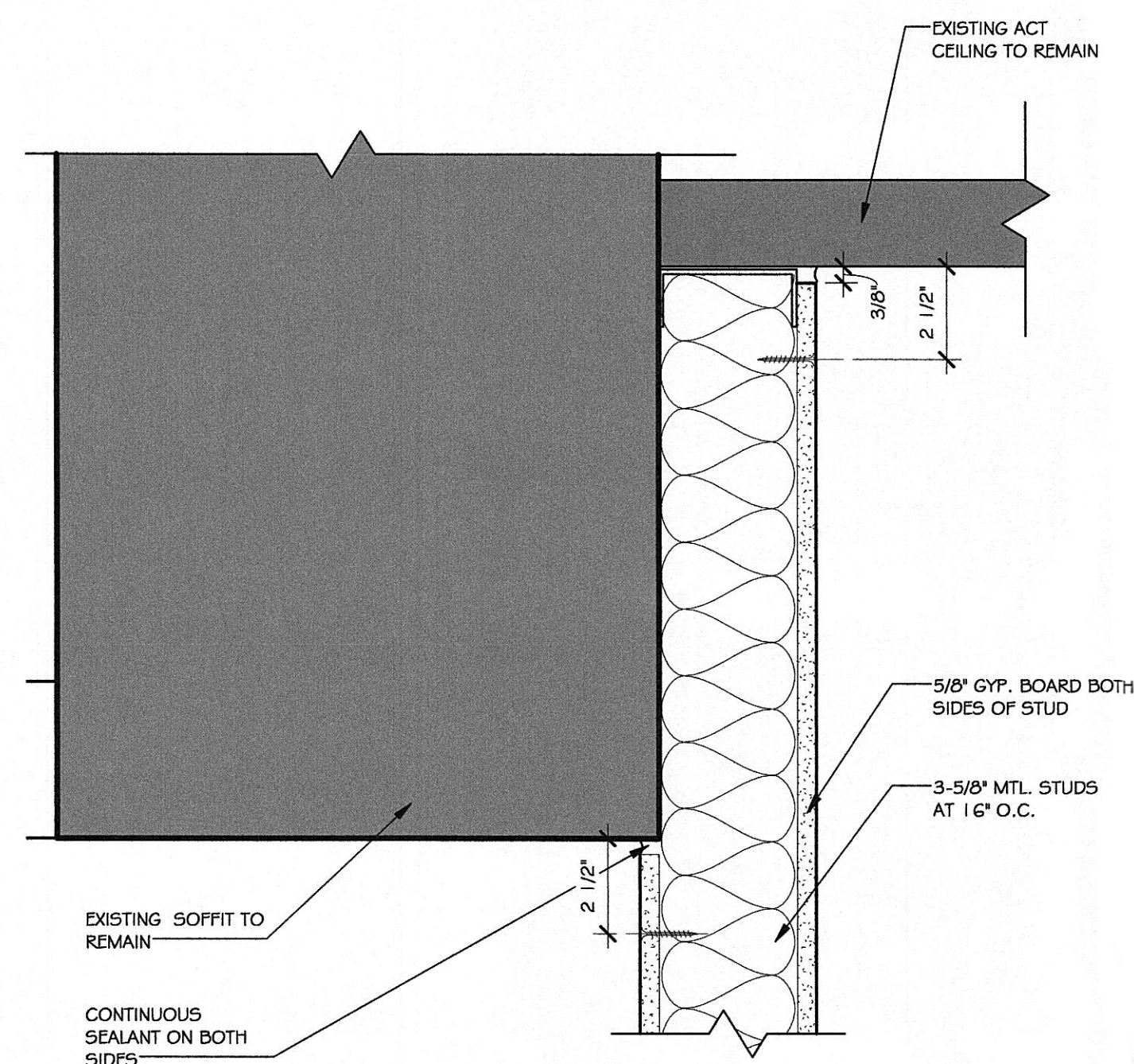
6 Millwork Channel Base
1/2" = 1'-0"



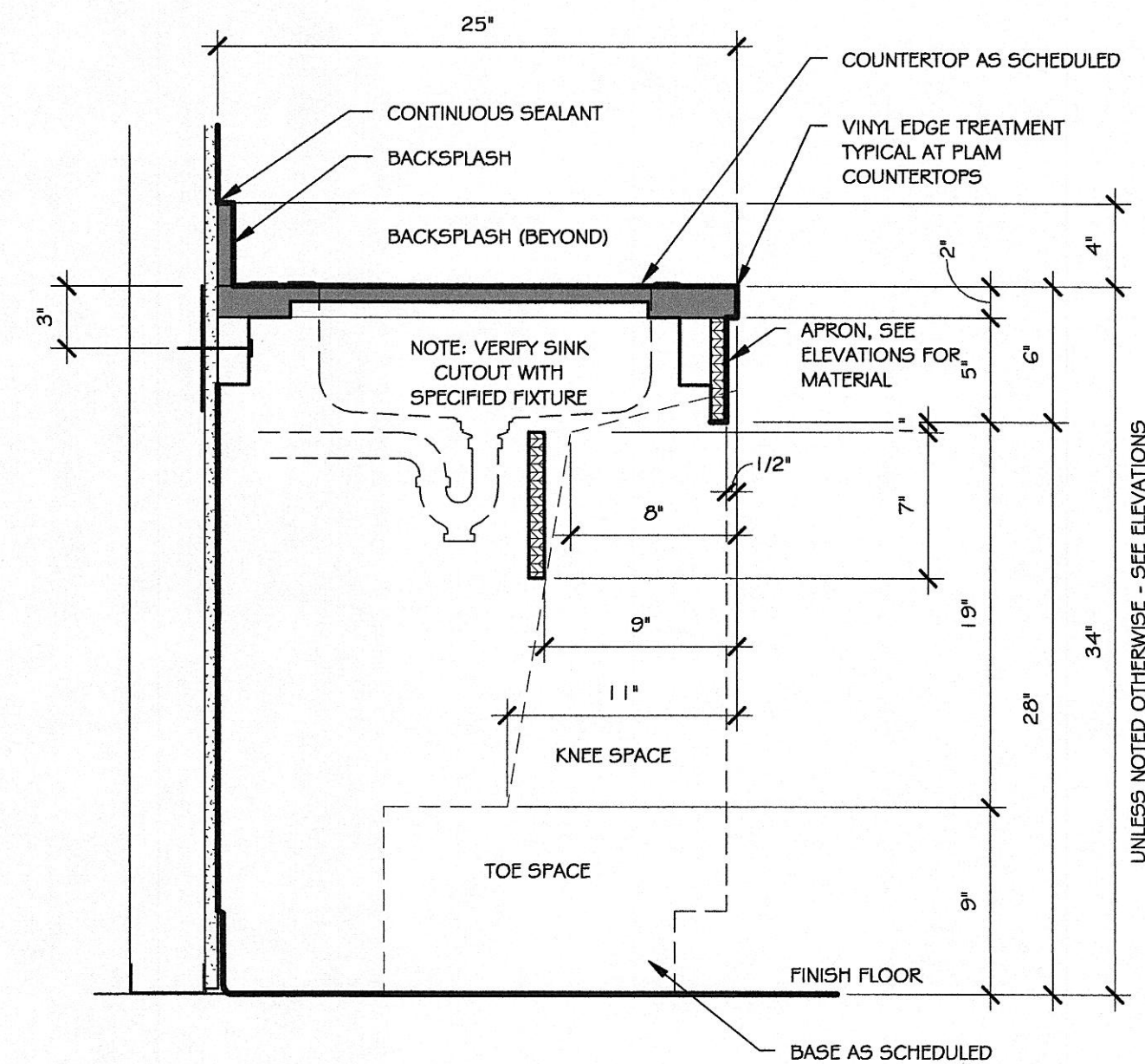
5 Millwork Corner Key
1/2" = 1'-0"



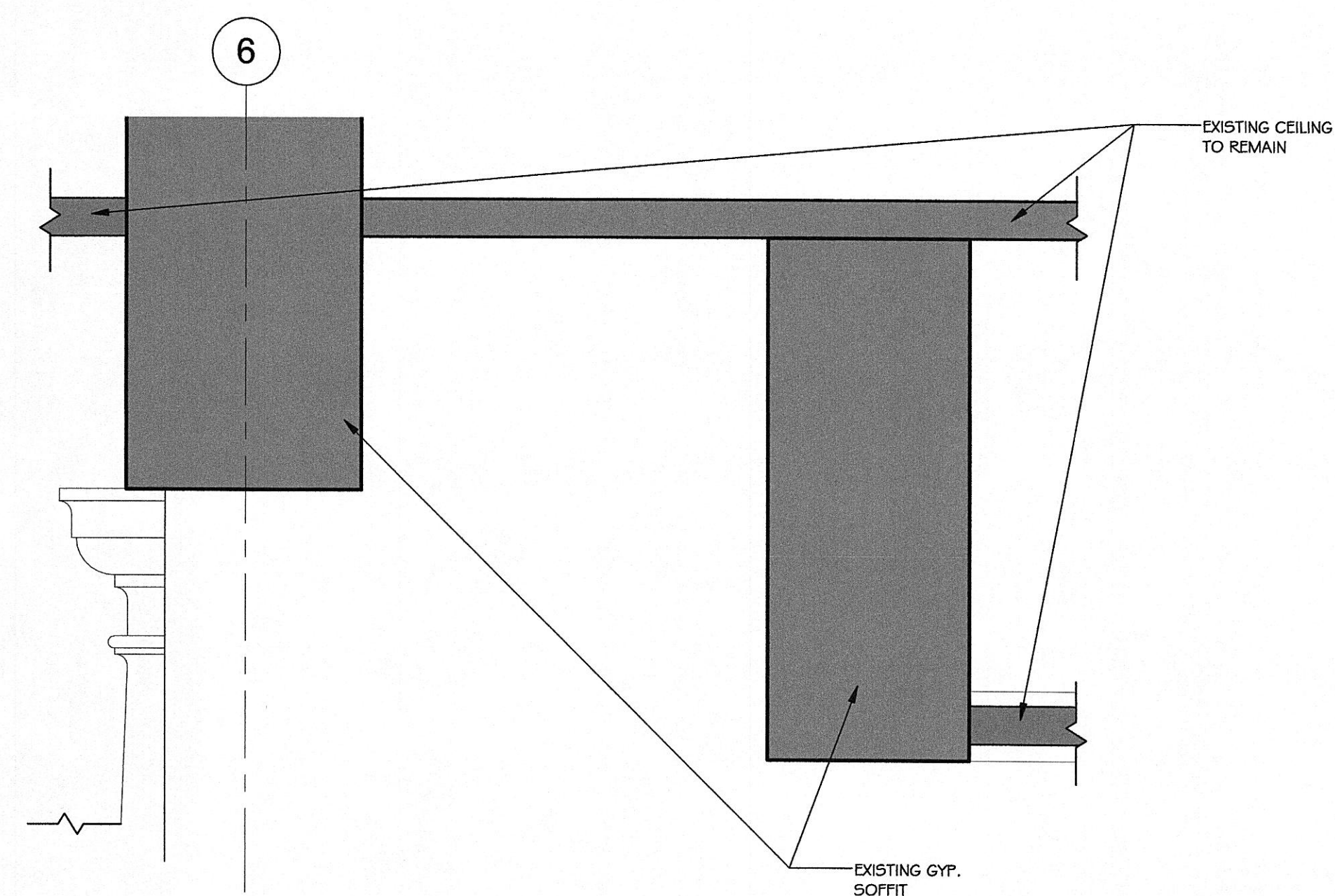
4 Glass Channel Detail
6" = 1'-0"



3 Existing Soffit Detail Along Wall
3" = 1'-0"



2 Typical Sink Apron Detail
1 1/2" = 1'-0"



1 Existing Soffit Detail Above Desk
1 1/2" = 1'-0"



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Sheet Title:
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Sheet No:

ID4.1